
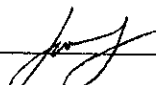
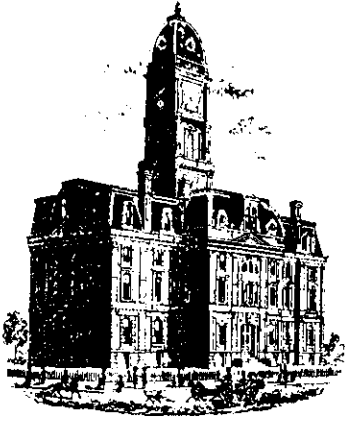


Drain: FITCH AND JESSUP **Drain #:** 33
Improvement/Arm: TREESDALE RELOCATION
Operator: L. LIVINGSTON **Date:** 12-23-03 * 5-26-04 SLW
Drain Classification: Urban/Rural **Year Installed:** 2000

GIS Drain Input Checklist

- Pull Source Documents for Scanning 
- Digitize & Attribute Tile Drains * SLW
- Digitize & Attribute Storm Drains * SLW
- Digitize & Attribute SSD N/A
- Digitize & Attribute Open Ditch * SLW
- Stamp Plans * SLW
- Sum drain lengths & Validate * SLW
- Enter Improvements into Posse 
- Enter Drain Age into Posse * SLW
- Sum drain length for Watershed in Posse * SLW
- Check Database entries for errors * SLW



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 146

One Hamilton County Square

Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

April 11, 2000

Re: Fitch & Jessup Drain

Attached is a petition and plans for the proposed relocation of the Fitch & Jessup Drain. The relocation is being proposed by Lucky LLC, the petitioner. The proposal is to reconstruct the existing Fitch & Jessup Drain across the proposed Treesdale Subdivision and parcels 17-13-09-00-00-027.000 and 17-13-09-00-00-025.000 to the north property line on Bramblewood.

The section of the drain to be reconstructed across the proposed Treesdale Subdivision is that portion of the original 1894 drain from Sta. 0 to Sta. 11+30. The section from Sta. 0 to 0+20 shall be replaced with a 20' section of 15" CMP so as to outlet into the retention pond in Common Area "A". The section from Sta. 0+20 to 11+30 will be replaced with the retention ponds in Common Areas "A" and "B", 27" RCP and twin 24" RCP's.

The section of the Town Lake Arm to be reconstructed across the proposed Treesdale Subdivision is that portion from Structure 102 to the Retention Pond in Common Area "A". The 12" tile of this arm will be replaced with 42" RCP and the retention pond in Common Area "A".

The length of the reconstruction across the proposed Treesdale subdivision is as follows:

288 feet of 42" RCP	20 feet 15" CMP
84 feet of twin 24" RCP	58 feet 27" RCP
1,048 feet of Open Ditch	

The open ditch listed above are those portions of retention ponds in Common Areas "A" and "B". These are to be considered part of the Fitch and Jessup Drain. The original easement thru the ponds shall not be vacated.

The downstream portion of the original Fitch and Jessup Drain is not adequate to handle the additional flow from Treesdale without being reconstructed. Therefore, under IC 36-9-27-17(d) the offsite reconstruction is proposed. The offsite work has two plans for the Board's consideration. Plan A is an open ditch and Plan B is a storm sewer.

Plan A shall consist of an open ditch from the south line of Treesdale to Bramblewood. This shall consist of 779 feet of open ditch and 36 feet of side by side 33" and 36" RCP's for a total of 815 feet of new drain. The original tile shall be vacated under this plan.

Plan B shall consist of constructing two (2) rows of thirty-six (36") inch reinforced concrete pipes between stations 11+50 and 21+05, paralleling the existing sixteen (16") inch drain which will remain in place and will connect to be maintained. This line will consist of the following:

Twin 36" RCP 860 ft

The total length of new tiles shall be 860 feet.

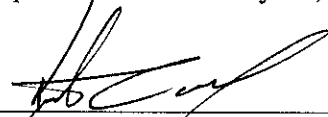
The cost of the relocation across the proposed Treesdale subdivision and for either Plan A or Plan B shall be paid by Lucky LLC, the developer of the Treesdale Subdivision.

Because the proposed project affects the following parcels 17-13-09-00-00-027.000 (McKinney) and 17-13-09-00-00-025.000 (Betelak) a public hearing before the Board is required under IC 36-9-27-52.

The petitioner will provided the Bond or Letter of Credit upon approval of the reconstruction by the Board.

Easements shall be changed as reflected on the Treesdale Section 1 secondary plat as filed in the office of the Hamilton County Recorder for that portion of the drain reconstructed through Treesdale. The existing 150 foot wide easement across the McKinney and Betelak tracts shall remain unchanged for either Plan A or Plan B.

I recommend the Board set a hearing for this proposed drain for May 22, 2000.



Kenton C. Ward
Hamilton County Surveyor

KCW/kkw

HAMILTON COUNTY DRAINAGE BOARD
NOBLESVILLE, INDIANA

IN RE: _____)
Hamilton County, Indiana)

PETITION FOR RELOCATION AND RECONSTRUCTION

LUCKY, LLC (hereinafter "Petitioner"),

hereby petitions the Hamilton County Drainage Board for authority to relocate and improve a section of the Fitch & Jessup Drain, and in support of said petition advises the Board that:

1. Petitioner owns real estate through which a portion of the Fitch & Jessup Drain runs.
2. Petitioner plans to develop its real estate with roads, buildings, utilities, storm drains, sanitary sewers and other structures.
3. Petitioner's proposed development of its real estate will require relocation and reconstruction of a portion of the Fitch & Jessup Drain, as specifically shown on engineering plans and specifications filed with the Hamilton County Surveyor.
4. The work necessary for the proposed relocation and reconstruction will be undertaken at the sole expense of the Petitioner and such work will result in substantial improvement to the Fitch & Jessup Drain, without cost to other property owners on the watershed of the Fitch & Jessup Drain.
5. Proposed relocation and reconstruction will not adversely affect other land owners within the drainage shed.
6. Petitioner requests approval of the proposed relocation and reconstruction under IC 36-9-27-52.5.

WHEREFORE, Petitioner requests that an Order issued from the Hamilton County Drainage Board authorizing relocation and reconstruction of the Fitch & Jessup Drain, in conformance with applicable law and plans and specifications on file with the Hamilton County Surveyor.

Signed *BSALETTO* LUCKY, LLC 12/14/99
Printed _____ MEMBER

FILED

DEC 20 1999

OFFICE OF HAMILTON COUNTY SURVEYOR

STATE OF INDIANA)
) ss:
COUNTY OF HAMILTON)

BEFORE THE HAMILTON COUNTY
DRAINAGE BOARD
NOBLESVILLE, INDIANA

IN THE MATTER OF THE
RECONSTRUCTION OF THE
Fitch & Jessup Drain

FINDINGS AND ORDER FOR RECONSTRUCTION

The matter of the proposed Reconstruction of the *Fitch & Jessup Drain* came before the Hamilton County Drainage Board for hearing on *May 22, 2000*, on the Reconstruction Report consisting of the report and the Schedule of Damages and Assessments. The Board also received and considered the written objection of an owner of certain lands affected by the proposed Reconstruction, said owner being:

Mr. Robert McKinney, Mrs. Lisa McKinney Goldner, Mr. Philip Goldner and Mr. Christopher and Mrs. Kathleen Betelak

Evidence was heard on the Reconstruction Report and on the aforementioned objections.

The Board, having considered the evidence and objections, and, upon motion duly made, seconded and unanimously carried, did find and determine that the costs, damages and expenses of the proposed Reconstruction will be less than the benefits accruing to the owners of all land benefited by the Reconstruction.

The Board having considered the evidence and objections, upon motion duly made, seconded and unanimously carried, did adopt the Schedule of Assessments as proposed, subject to amendment after inspection of the subject drain as it relates to the lands of any owners which may have been erroneously included or omitted from the Schedule of Assessments.

The Board further finds that it has jurisdiction of these proceedings and that all required notices have been duly given or published as required by law.

Wherefore, it is ORDERED, that the proposed Reconstruction of the Thorpe Creek Drain be and is hereby declared established.

Thereafter, the Board made inspection for the purpose of determining whether or not the lands of any owners had been erroneously included or excluded from the Schedule of Assessments. The Board finds on the basis of the reports and findings at this hearing as follows:

HAMILTON COUNTY DRAINAGE BOARD



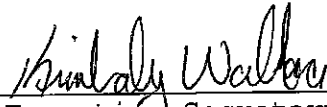
PRESIDENT



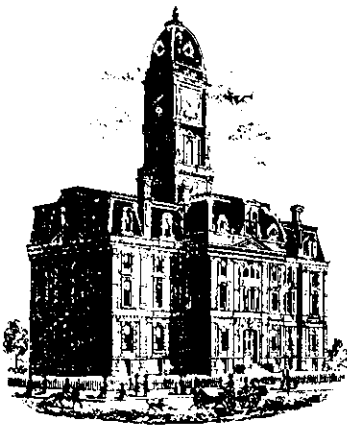
Member

Member

ATTEST:



Executive Secretary



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 188

One Hamilton County Square

Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

May 25, 2004

Re: Fitch & Jessup Drain: Treesdale Reconstruction

Attached are as-builts, certificate of completion & compliance, and other information for Treesdale Reconstruction. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated April 11, 2000. The report was approved by the Board at the hearing held May 22, 2000. (See Drainage Board Minutes Book 5, Pages 364-368)
The changes are as follows:

Structure:	T.C.:	I.E.:	Pipe:	Length:	Grade:	Original Plans:
108		856.05				
109		851.52	21	56	0.13	
109A		850.2				
113		848.92	29X45	864	0.15	
104		857.16				
105		856.57	27	56	0.9	
106		856.54				
107		856.02	(2) 24	84		
100		858				
102	864.37	857.47	42	94		96
102		857.45				
103		856.48	42	192		
103a	860.3					
103b	860.18		12	6		
103b	860.18	857.12				
103c		856.58	12	298		

RCP Pipe Totals:

12	304
21	56
27	56

Other Drain:	
Open Ditch	1048

2 rows 24	84
42	286
2 rows 29x45 RCPA	864

The length of the drain due to the changes described above is now **2698 feet**. The 864 feet of 29x45 RCPA parallels the existing Fitch and Jessup tile. Therefore, this project added **1834 feet** to the drains length. Note: this project removed 519 feet from the Towne Lakes Arm and it removed 1110 feet of the original Fitch and Jessup drain.

The non-enforcement was approved by the Board at its meeting on May 22, 2000 and recorded under instrument #2000-00061208.

The following sureties were guaranteed by Fifth Third Bank and released by the Board on its September 23, 2002 meeting.

Bond-LC No: SB12058

Insured For: Storm Sewers, Subsurface Drains

Amount: \$140,500

Issue Date: March 23, 2000

Bond-LC No: SB12058

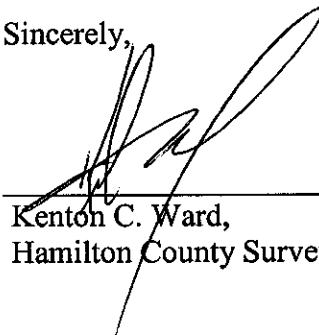
Insured For: Erosion Control

Amount: \$42,820.00

Issue Date: March 23, 2000

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward,
Hamilton County Surveyor

KCW/slm

*GASB 34 – Value Calculations
Teesdale Sec. 1*

Bonds: \$183,320.00

Total Feet: 5962

Teesdale Drain (3264 ft): 55% (183320) = \$100,826

Fitch & Jessup Reconstruction (2698ft): 45% (183320) = \$82,494



SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 188

*One Hamilton County Square
Noblesville, Indiana 46060-2230*

October 1, 2002

Lucky, LLC
2643 Towne Drive
Carmel IN 46032

Re: Treesdale

This letter is returning the enclosed sureties that were released by the Hamilton County Board of Commissioners during their meeting of September 23, 2002.

HCDB-L00-002 – Fifth Third Bank, Irrevocable Standby Letter of Credit No. SB12056 for Treesdale – Storm Sewers and Subsurface Drainage - \$ 140,500.00 **(This is a copy of the Original being submitted for release. The original was returned to Fifth Third Bank by the Drainage Board Attorney)**

HCDB-L00-003 – Fifth Third Bank, Irrevocable Standby Letter of Credit No. SB12058 for Treesdale – Erosion Control - \$ 42,820.00

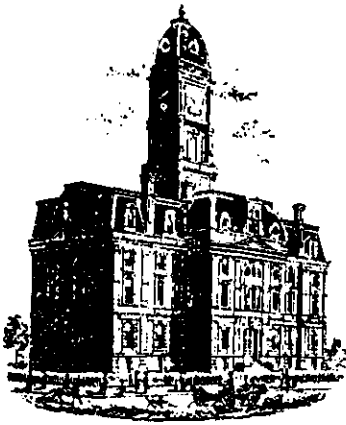
HCDB-L00-005 – Fifth Third Bank, Irrevocable Standby Letter of Credit No. SB12106 for Treesdale – Monumentation - \$ 1,250.00

Accompanying this letter you will find the released sureties.

Sincerely,

Jerry L. Liston
Hamilton County Surveyors Office

JLL/mkh



SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 188

*One Hamilton County Square
Noblesville, Indiana 46060-2230*

February 12, 2001

Mr. Richard Carringer
3510 E. 96th Street, Suite 26
Indianapolis, IN. 46240

RE: Treesdale Drain

This is to notify your Company the Storm Sewers and Subsurface Drainage, Erosion Control and Monumentation Sureties for Treesdale will expire on **March 23, 2001**. The Sureties are Letters of Credit issued by Fifth Third Bank. The amount of the three Sureties are \$ 182,750.00. The Surety numbers are SB12056, SB12057 and SB12058.

The Surveyor's Office requires the inspection of the Development's Drainage Facilities, Erosion Control and Monumentation be installed, completed and all outstanding punchlist items addressed by the Developer's Contractors prior to the expiration date. The Sureties are to be extended by the Developer in the event the necessary inspections and punchlists are not completed by your Contractors.

If you have any questions, please contact the Hamilton County Surveyor's Office at 776-8495.

Sincerely,

Jerry L. Liston

Hamilton County Surveyor's Office

CC: Fifth Third Bank
The Snider Group
Kleis Construction

FB Fifth Third Bank

INTERNATIONAL DEPARTMENT

38 Fountain Square Plaza / Cincinnati, Ohio 45263

Phone (513) 579-5220

Telex number: 21-4567

Cable address: FIFTH THIRD

HCDB - L 00 - 003

ISSUING BANK:
Fifth Third Bank
International Division
38 Fountain Square Plaza
Cincinnati, Ohio 45263

IRREVOCABLE STANDBY CREDIT
NUMBER: SB12058

PAGE 1 of 2

PLACE AND DATE OF ISSUE
Cincinnati, Ohio 45263
23 Mar. 2000

EXPIRY DATE AND PLACE FOR PRESENTATION
OF DOCUMENTS: 23 Mar. 2001
Our counters

APPLICANT:
LUCKY LLC
2643 TOWNE DRIVE
CARMEL IN 46032

ENEFICIARY:
HAMILTON COUNTY BOARD OF
COMMISSIONERS
1717 PLEASANT STREET
NOBLESVILLE IN 46038

AMOUNT: USD42,800.00
Forty two thousand eight hundred
and 00/100
United States Dollars

WE HEREBY ESTABLISH OUR IRREVOCABLE STANDBY LETTER OF CREDIT NO SB12058 IN YOUR FAVOR, AT THE REQUEST AND FOR THE ACCOUNT OF LUCKY LLC 2643 TOWNE DRIVE, CARMEL IN 46032 FOR ANY SUM OR SUMS NOT EXCEEDING USD42,800.00 AVAILABLE UPON PRESENTATION BY THE DIRECTOR OF THE HAMILTON COUNTY BOARD OF COMMISSIONERS OR ANY EMPLOYEE ACTING UNDER HIS AUTHORITY, OF A LETTER SIGNED BY THE PRESIDENT OF THE HAMILTON COUNTY BOARD OF COMMISSIONERS ENUMERATING ANY AND ALL IMPROVEMENTS NOT COMPLETED AS REQUIRED FOR EROSION CONTROL FOR TREESDALE SUBDIVISION, SECTION I. THE PRESIDENT'S LETTER SHALL ALSO INDICATE THE ESTIMATED COST OF COMPLETING THE IMPROVEMENTS.

THE DRAFTS DRAWN UNDER THIS LETTER OF CREDIT MUST STATE "DRAWN UNDER LETTER OF CREDIT NO SB12058 OF FIFTH THIRD BANK, CINCINNATI, OHIO DATED MARCH 23, 2000." THE AMOUNTS OF THE DRAFTS MUST BE NOTED ON THE BACK OF THIS LETTER OF CREDIT BY THE NEGOTIATING BANK AND/OR AGENCY.

RELEASE OF MAINTENANCE/PERFORMANCE BOND
RELEASE OF LETTER OF CREDIT

HAMILTON COUNTY BOARD OF COMMISSIONERS

BOARD OF COMMISSIONERS
OF THE COUNTY OF HAMILTON

BY: *Mason Clark*
BY: *Steven A. Galt*
BY: *St. C. Dellinger*

St. C. Dellinger
Mason Clark

ATTEST: *Robert M. Madsen*
HAMILTON COUNTY SURVEYOR

DATE 4-10-00

This copy printed from the Digital Archive of the Hamilton County Surveyor's Office; One Hamilton Co. Square Ste. 188 Noblesville, IN 46060

ATTEST: *James J. ...*
HAMILTON COUNTY AUDITOR

Customs and Practice for Documentary Credits of the International Chamber of Commerce, Presently in Effect.

FB Fifth Third Bank

INTERNATIONAL DEPARTMENT
38 Fountain Square Plaza / Cincinnati, Ohio 45263
Phone (513) 579-5220

Cable address: FIFTH THIRD

Telex number: 21-4567

NUMBER SB12058

PAGE 2 of 2

THIS LETTER OF CREDIT IS EFFECTIVE AS OF MARCH 23, 2000, AND SHALL EXPIRE ON MARCH 23, 2001, BUT SUCH EXPIRATION DATE SHALL BE AUTOMATICALLY EXTENDED FOR A PERIOD OF ONE YEAR, ON MARCH 23, 2001, AND ON EACH SUCCESSIVE EXPIRATION DATE, UNLESS A RELEASE IS RECEIVED FROM THE HAMILTON COUNTY BOARD OF COMMISSIONERS, OR WE NOTIFY BOTH THE HAMILTON COUNTY BOARD OF COMMISSIONERS AND LUCKY LLC BY CERTIFIED MAIL, AT LEAST NINETY (90) DAYS BEFORE THE CURRENT EXPIRATION DATE, THAT WE HAVE DECIDED NOT TO EXTEND THIS LETTER OF CREDIT BEYOND THE CURRENT EXPIRATION DATE. IN THE EVENT OF SUCH NOTIFICATION TO THE HAMILTON COUNTY BOARD OF COMMISSIONERS UPON ITS SIGHT DRAFT OR DEMAND FOR PAYMENT FOR NINETY (90) DAYS AFTER RECEIPT OF SUCH NOTICE BY THE HAMILTON COUNTY BOARD OF COMMISSIONERS, AS SHOWN ON THE SIGNED RETURN RECEIPT.

THE CREDIT ESTABLISHED BY THIS LETTER AND OUR OBLIGATION TO PAY SAME SHALL NOT BE AFFECTED BY THE RECEIVERSHIP, BANKRUPTCY OR INSOLVENCY OF LUCKY LLC OR THE ATTACHMENT OF ITS PROPERTY. NOR SHALL THIS CREDIT OR OUR OBLIGATION TO PAY SAME BE AFFECTED BY ANY SECURITY AGREEMENT BETWEEN LUCKY LLC AND OUR BANK AND/OR AGENCY.

WHENEVER THIS LETTER OF CREDIT IS DRAWN ON UNDER AND IN COMPLIANCE WITH THE TERMS OF THIS LETTER OF CREDIT, WE SHALL PAY THE AMOUNT OF THE DRAFT DIRECTLY TO THE HAMILTON COUNTY BOARD OF COMMISSIONERS OR IN ACCORDANCE WITH ITS INSTRUCTIONS.

REGARDS
THE FIFTH THIRD BANK
INTERNATIONAL DEPT.
CINCINNATI, OHIO USA
TLX 214567

Authorized Signature

Authorized Signature

Uniform Customs and Practice for Documentary Credits of the International Chamber of Commerce, Presently in Effect.

Fifth Third Bank

INTERNATIONAL DEPARTMENT

38 Fountain Square Plaza / Cincinnati, Ohio 45263

Phone (513) 579-5220

Cable address: FIFTH THIRD

Telex number: 21-4567

HCDB - L 00 - 002

ISSUING BANK:
Fifth Third Bank
International Division
38 Fountain Square Plaza
Cincinnati, Ohio 45263

IRREVOCABLE STANDBY CREDIT
NUMBER: SB12056

PAGE 1 of 2

PLACE AND DATE OF ISSUE
Cincinnati, Ohio 45263
23 Mar. 2001

EXPIRY DATE AND PLACE FOR PRESENTATION
OF DOCUMENTS: 23 Mar. 2001
Our counters

APPLICANT:
LUCKY LLC
2643 TOWNE DRIVE
CARMEL IN 46032

BENEFICIARY:
HAMILTON COUNTY BOARD OF
COMMISSIONERS
1717 PLEASANT STREET
NOBLESVILLE IN 46038

AMOUNT: USD140,500.00
One hundred forty thousand five
hundred and 00/100
United States Dollars

WE HEREBY ESTABLISH OUR IRREVOCABLE STANDBY LETTER OF CREDIT NO. SB12056 IN YOUR FAVOR, AT THE REQUEST AND FOR THE ACCOUNT OF LUCKY LLC, 2643 TOWNE DRIVE CARMEL IN 46032 FOR ANY SUM OR SUMS NOT EXCEEDING USD140,500.00 AVAILABLE UPON PRESENTATION BY THE DIRECTOR OF THE HAMILTON COUNTY BOARD OF COMMISSIONERS OR ANY EMPLOYEE ACTING UNDER HIS AUTHORITY, OF A LETTER SIGNED BY THE PRESIDENT OF THE HAMILTON COUNTY BOARD OF COMMISSIONERS ENUMERATING ANY AND ALL IMPROVEMENTS NOT COMPLETED AS REQUIRED FOR STORM SEWERS AND SUBSURFACE DRAINAGE FOR TREESDALE SUBDIVISION, SECTION I. THE PRESIDENT'S LETTER SHALL ALSO INDICATE THE ESTIMATED COST OF COMPLETING THE IMPROVEMENTS.

THE DRAFTS DRAWN UNDER THIS LETTER OF CREDIT MUST STATE "DRAWN UNDER LETTER OF CREDIT NO SB12056 OF FIFTH THIRD BANK, CINCINNATI, OHIO DATED MARCH 23, 2001." THE AMOUNTS OF THE DRAFTS MUST BE NOTED ON THE BACK OF THIS LETTER OF CREDIT BY THE NEGOTIATING BANK AND/OR AGENCY.

ATTEST: *Babara M. Miller*
HAMILTON COUNTY AUDITOR

Mike Howard took original

3/19/01 RELEASE OF MAINTENANCE/PERFORMANCE BOND
RELEASE OF LETTER OF CREDIT

HAMILTON COUNTY BOARD OF COMMISSIONERS
BY: *Sharon Clark*
BY: *Steve C. Dellinger*
BY: *Steve C. Dellinger*

BOARD OF COMMISSIONERS
OF THE COUNTY OF HAMILTON

Steve C. Dellinger
Sharon Clark
DATE 4-10-01

ATTEST: *Babara M. Miller*
HAMILTON COUNTY AUDITOR

Fifth Third Bank

INTERNATIONAL DEPARTMENT
38 Fountain Square Plaza / Cincinnati, Ohio 45263
Phone (513) 579-5220

Cable address: FIFTH THIRD

Telex number: 21-4567

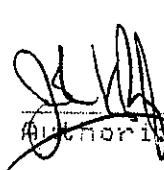
NUMBER SB12056
PAGE 2 of 2


THIS LETTER OF CREDIT IS EFFECTIVE AS OF MARCH 23, 2000, AND SHALL EXPIRE ON MARCH 23, 2001. BUT SUCH EXPIRATION DATE SHALL BE AUTOMATICALLY EXTENDED FOR A PERIOD OF ONE YEAR, ON MARCH 23, 2001, AND ON EACH SUCCESSIVE EXPIRATION DATE, UNLESS A RELEASE IS RECEIVED FROM THE HAMILTON COUNTY BOARD OF COMMISSIONERS, OR WE NOTIFY BOTH THE HAMILTON COUNTY BOARD OF COMMISSIONERS AND LUCKY LLC BY CERTIFIED MAIL AT LEAST NINETY (90) DAYS BEFORE THE CURRENT EXPIRATION DATE, THAT WE HAVE DECIDED NOT TO EXTEND THIS LETTER OF CREDIT BEYOND THE CURRENT EXPIRATION DATE. IN THE EVENT OF SUCH NOTIFICATION BY US, THE CREDIT ESTABLISHED BY THIS LETTER SHALL BE AVAILABLE TO THE HAMILTON COUNTY BOARD OF COMMISSIONERS UPON ITS SIGHT DRAFT OR DEMAND FOR PAYMENT FOR NINETY (90) DAYS AFTER RECEIPT OF SUCH NOTICE BY THE HAMILTON COUNTY BOARD OF COMMISSIONERS AS SHOWN ON THE SIGNED RETURN RECEIPT.

THE CREDIT ESTABLISHED BY THIS LETTER AND OUR OBLIGATION TO PAY SAME SHALL NOT BE AFFECTED BY THE RECEIVERSHIP, BANKRUPTCY OR INSOLVENCY OF LUCKY LLC OR THE ATTACHMENT OF ITS PROPERTY. NOR SHALL THIS CREDIT OR OUR OBLIGATION TO PAY SAME BE AFFECTED BY ANY SECURITY AGREEMENT BETWEEN LUCKY LLC AND OUR BANK AND /OR AGENCY.

WHENEVER THIS LETTER OF CREDIT IS DRAWN ON UNDER AND IN COMPLIANCE WITH THE TERMS OF THIS LETTER OF CREDIT, WE SHALL PAY THE AMOUNT OF THE DRAFT DIRECTLY TO THE HAMILTON COUNTY BOARD OF COMMISSIONERS OR IN ACCORDANCE WITH ITS INSTRUCTIONS.

REGARDS
THE FIFTH THIRD BANK
INTERNATIONAL DEPT.
CINCINNATI, OHIO USA
TLX 214567


Authorized Signature


Authorized Signature

Practice for Documentary Credits of the International Chamber of Commerce, Presently in

TOWNE LAKES SUBDIVISION

CAMDEN WALK

CAMDEN WALK SUBDIVISION

KEY PLAN

CONTRACTOR TO REMOVE TREES AS DIRECTED BY OWNER / DEVELOPER

CONTRACTOR TO REMOVE TREES AND PLACE AS DIRECTED BY OWNER / DEVELOPER

SANITARY MANHOLE MR-210

SANITARY MANHOLE MR-209A

EXISTING LEGEND

- 6" WOVEN-WIRE FENCE
- 6" RAIL & POST FENCE
- UNDERGROUND TELEPHONE
- EASEMENT
- SETBACK LINE
- CENTERLINE
- GAS - GAS
- TCOM
- UNDERGROUND GAS MAIN
- PROPERTY OR R/W LINE
- UNDERGROUND ELECTRIC LINE
- SANITARY SEWER
- EXISTING STORM SEWER
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- CURB INLET
- 6"x6" AMERTECH PHONE PEDESTAL
- CINERY ELECTRIC BOX
- STREET SIGN
- GAS VALVE
- FLOW ARROW
- EXISTING CONTOUR
- VEGETATION
- SANITARY MANHOLE
- EXISTING TREE

PROPOSED LEGEND

- 24" ROLLED CONCRETE CURB
- PROPOSED SANITARY SEWER
- FLOW LINE OF FITCH & JESSUP DITCH
- SUBDIVISION BOUNDARY
- ADJOINER PROPERTY LINE
- PROPOSED STORM SEWER
- STREET STATION & ELEVATION
- FLOW ARROW
- PROPOSED GRADE
- PAD ELEVATION (ROUGH GRADE)

MVC LEGEND

- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING HYDRANT
- PROPOSED HYDRANT
- BUTTERFLY VALVE
- VALVE
- BLOW OFF ASSEMBLY
- PLUG
- REDUCER
- T.J. TEE
- M.J. SLEEVE
- BEND
- HOKER BLOCK
- CASING PIPE x 866.9

STORM STRUCTURE DATA

STR. #	LOCATION	L	R	DESCRIPTION	UPSTREAM ELEVATION	DOWNSTREAM ELEVATION	TOP OF CASTING @ FLL	CASTING	REMARKS
TREESDALE CIRCLE									
300	2+60			DETAIL 6/14	862.46	862.23	866.11	NEENAH 3501 TL	
301	2+60	14		DETAIL 6/14	862.61	862.61	866.11	NEENAH 3501 TR	
300A	2+60	23		DETAIL 5/14	862.17	862.09	867.10	NEENAH 1642	
302	4+34		14	DETAIL 6/14	859.52	859.27	863.15	NEENAH 3501 TL	
303	4+34		14	DETAIL 6/14	859.65	863.15	866.11	NEENAH 3501 TR	
302A	4+34	23		DETAIL 5/14	859.21	859.13	864.20	NEENAH 1642	
304	4+91		218	DETAIL 10/14	861.50	861.50	867.10	END-SECTION	DEBRIS GUARD
305	4+34		272	DETAIL 6/14	861.04	860.79	864.28	NEENAH 2564	BEEHIVE
306A	6+25		14	DETAIL 18/14	858.31	858.06	862.28	NEENAH 3501 TL	
306B	6+25		14	DETAIL 18/14	857.68	862.28	866.11	NEENAH 3501 TR	
306C	7+43		74	DETAIL 10/14	857.00	857.00	862.28	END-SECTION	RIP-RAP
306	7+94		14	DETAIL 6/14	857.76	861.02	866.11	NEENAH 3501 TR	
309	7+94		14	DETAIL 6/14	857.63	857.56	861.02	NEENAH 3501 TL	
310	7+94		61	DETAIL 10/14	857.37	857.37	866.11	END-SECTION	RIP-RAP
RETENTION POND 'A'									
100	5+09		348	DETAIL 10/14	858.05	858.05	866.11	END-SECTION	DEBRIS GUARD
101	4+89		294	DETAIL 10/14	861.00	861.00	866.11	END-SECTION	DEBRIS GUARD
101A	5+35		308	DETAIL 6/14	858.73	858.65	861.30	NEENAH 2564	BEEHIVE
102	5+62		336	DETAIL 16/14	857.45	857.45	864.97	NEENAH 1642	
103	6+37		366	DETAIL 10/14	856.53	856.53	866.11	END-SECTION	RIP-RAP
104	6+48		400	DETAIL 10/14	857.07	857.07	866.11	END-SECTION	DEBRIS GUARD
105	6+86		549	DETAIL 10/14	857.35	857.35	866.11	END-SECTION	RIP-RAP
LIMITED COMMON AREA DRIVE									
106	1+25		33	DETAIL 10/14	856.53	856.53	866.11	END-SECTION	PROVIDE DEBRIS GUARD
107	1+25		51	DETAIL 10/14	856.05	856.05	866.11	END-SECTION	RIP-RAP

PROJECT NAME TREESDALE - SECTION 1
PROJECT NUMBER J-05-087
Dist. Map 704/714 **Water Map** 6955/7045
Text Code 29003
Lot 10
Plat LAFAYETTE
Drafter KWA **Date** 3/27/00

EXISTING BUILDINGS AND OTHER IMPROVEMENTS ON THE PROPERTY SHALL BE REMOVED BY THE DEVELOPER. DEBRIS SHOULD NOT BE BURIED ON-SITE.

NO TREES, SPRINKLER SYSTEMS, LIGHTING SYSTEMS, OR SIGNS SHALL BE WITHIN THE R/W OF TOWNE ROAD WITHOUT THE REVIEW & APPROVAL OF HCHD.

SEE INDIANAPOLIS WATER COMPANY MAIN EXTENSION STANDARDS AND SPECIFICATIONS TO BE FOLLOWED FOR THE DESIGN OF THE SYSTEM. REFER TO INDIANAPOLIS WATER COMPANY MINIMUM STANDARDS FOR DRAWINGS FOR DEVELOPER INSTALLED MAINS, DATED JULY 1, 1998

RECORD DRAWING

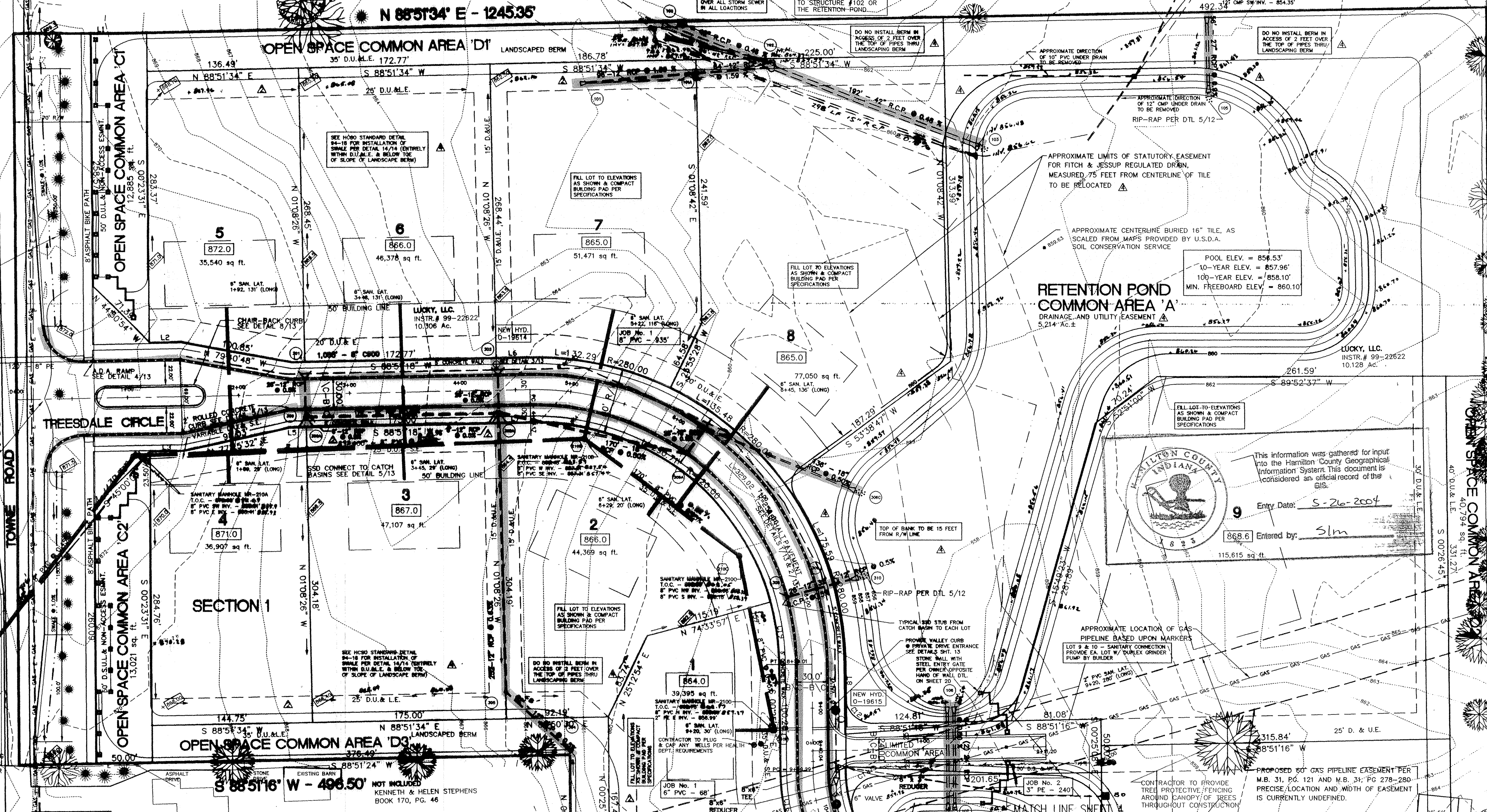
SEE PLAN & PROFILE SHEETS FOR TOP OF CASTING, INVERT ELEVATIONS AND LENGTHS OF PIPE. SLOPE PERCENTAGE REPRESENTS A CALCULATED FIGURE BETWEEN POINTS AS SHOWN. HOUSE LATERAL LOCATION, LENGTH, / DEPTH INFORMATION WAS PROVIDED BY THE CONTRACTOR & NOT INCLUDED IN THIS CERTIFICATION. THIS SHEET IS FOR SWALE, DETENTION & GRADING AS-BUILT ONLY.

CERTIFIED THIS 1ST DAY OF DECEMBER, 2000
 KEELER-WEBB ASSOCIATES



DEVELOPMENT PLAN

GRAPHIC SCALE



40
41
42
43
44
45
46
47

WINDMERE

S 00°26'45" E - 667.58' ZONED S-1

KEELER-WEBB ASSOCIATES
 Consulting Engineers-Planners-Surveyors
 3510 E. 96th St., Suite 28
 Indianapolis, IN 46240
 Telephone (317) 574-0140
 486 Grady Drive
 Carmel, Indiana 46032

RICHARD CARRIGER
 BUILDER & DEVELOPER
 3510 E. 96th St., Suite 28
 Indianapolis, IN 46240
 317-944-9821 Fax 944-9608

TREESDALE
 PART OF S 1/2 SW 1/4 NW 1/4
 SECTION 28, TOWNSHIP 37 NORTH, RANGE 3 EAST
 TOWNE ROAD
 CARMEL, INDIANA

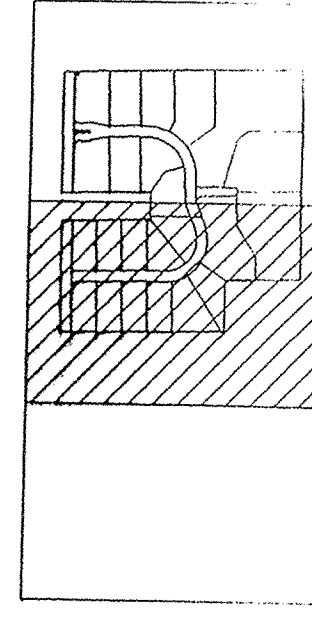
DRAWN BY: PAW
 CHECKED BY: ALD
 PROJECT No. 9905-008
 SHEET No. 3

DEVELOPER SHALL PLUG AND CAP ALL WELLS ON THE PROPERTY

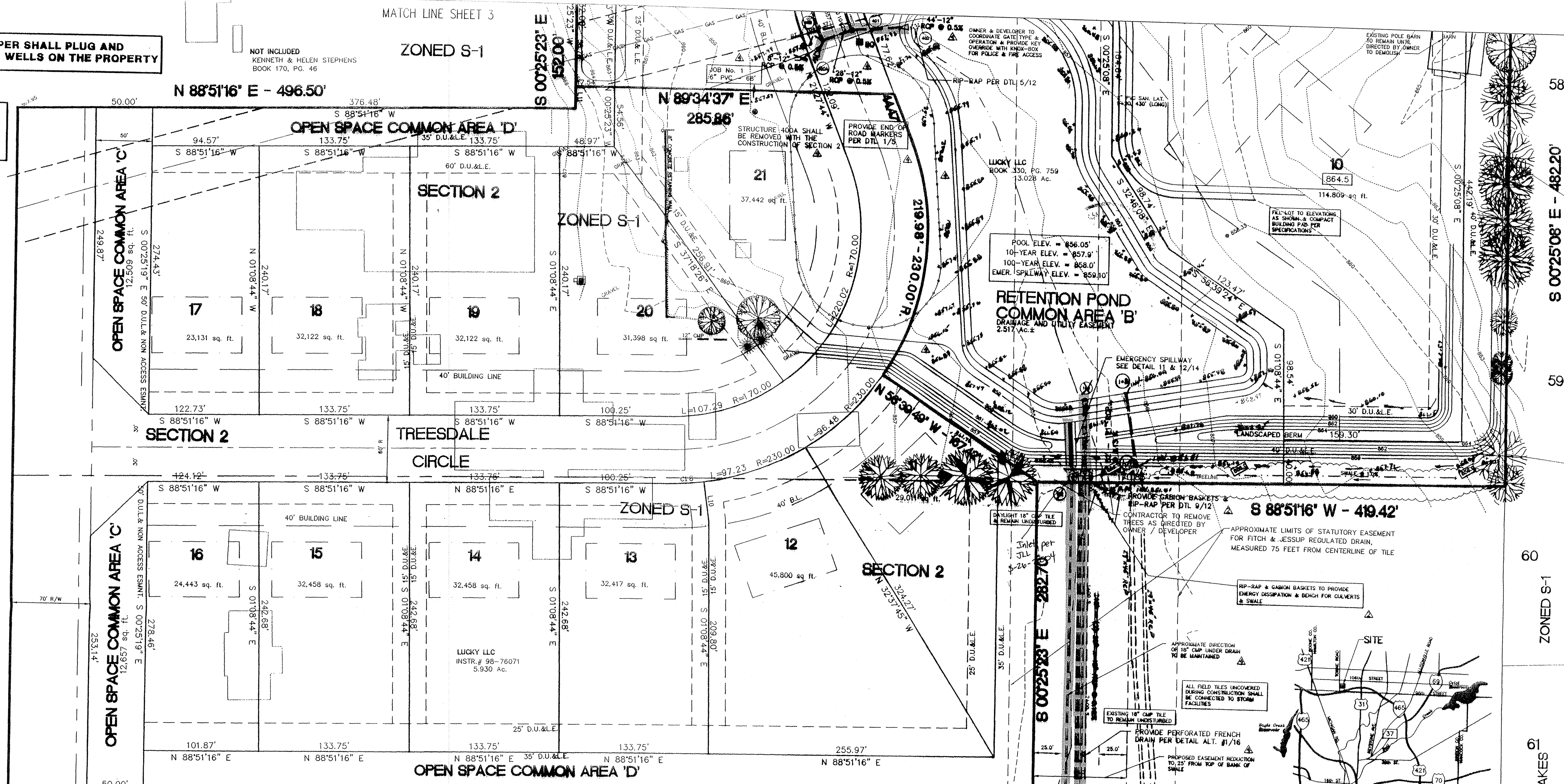
NOT INCLUDED
KENNETH & HELEN STEPHENS
BOOK 170, PG. 46

ZONED S-1

EXISTING BUILDINGS AND OTHER IMPROVEMENTS ON THE PROPERTY SHALL BE REMOVED BY THE DEVELOPER. DEBRIS SHOULD NOT BE BURIED ON-SITE



"Holey Moley" says "DON'T DIG BLIND!"
Call Monday through Friday 7 AM to 6 PM
THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE BASED UPON ABOVE COUNTRYSIDE RECORDS. However, they do not include all utilities, especially those installed since the last record was made. It is the responsibility of the contractor to locate all utilities before any excavation. The contractor should be warned by the contractor to any location on site.

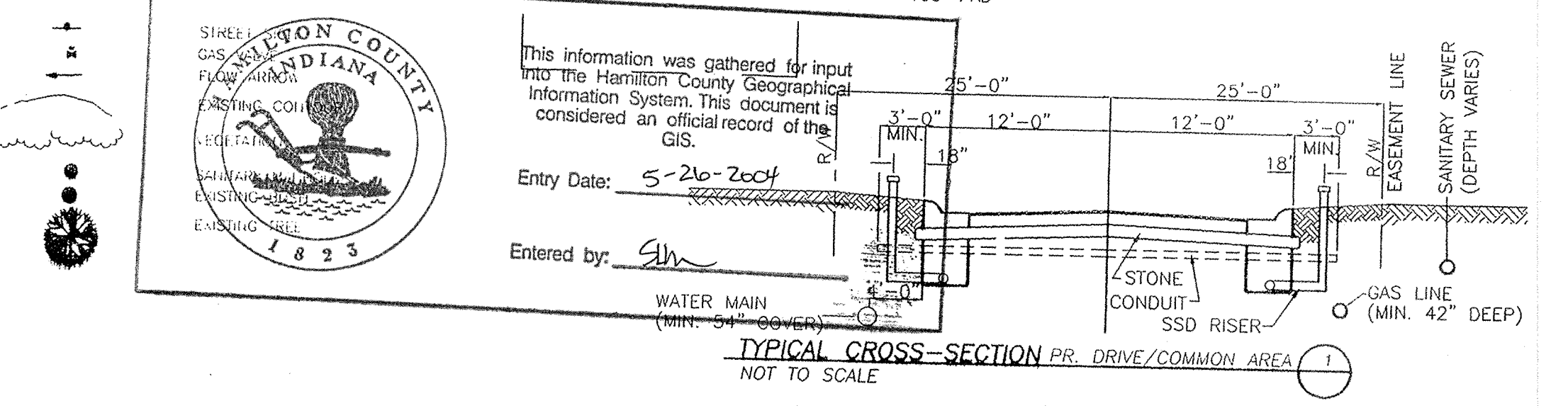


EXISTING LEGEND		PROPOSED LEGEND		IWC LEGEND	
	6" WOVEN-WIRE FENCE		24" ROLLED CONCRETE CURB		EXISTING WATER MAIN
	6" RAIL & POST FENCE		PROPOSED SANITARY SEWER		PROPOSED WATER MAIN
	UNDERGROUND TELEPHONE		FLOW LINE OF FITCH & JESSUP DITCH		EXISTING HYDRANT
	EASEMENT		SUBDIVISION BOUNDARY		PROPOSED HYDRANT
	SETBACK LINE		ADJOINTER PROPERTY LINE		BUTTERFLY VALVE
	CENTERLINE		PROPOSED STORM SEWER		VALVE
	UNDERGROUND GAS MAIN		STREET STATION & ELEVATION		BLOW OFF ASSEMBLY
	UNDERGROUND TELECOMMUNICATIONS		FLOW ARROW		PLUG
	PROPERTY OF R/W LINE		PROPOSED GRADE		REDUCER
	UNDERGROUND ELECTRIC LINE		PAD ELEVATION (ROUGH GRADE)		T.J. TEE
	SANITARY SEWER				M.J. SLEEVE
	EXISTING STORM SEWER				BEND
	CONCRETE PAVEMENT				KICKER BLOCK
	4" SIPHON PAVEMENT				CASING PIPE
	CURB CURB				
	6" x 6" AMERITECH PHONE PEDESTAL				
	EMERGENCY ELECTRIC BOX				

TYPICAL CROSS-SECTION (SEE DETAIL 13/13 FOR FURTHER DETAIL)

NOT TO SCALE

STR. #	LOCATION	L	R	DESCRIPTION	UPSTREAM ELEVATION	DOWNSTREAM ELEVATION	TOP OF CASTING @ EL.	CASTING	REMARKS
400A	10+30	20	DETAIL 10/14		856.97	857.00	857.00	END-SECTION	RIP-RAP
400	10+25	14	DETAIL 6/14	856.74	856.87	856.87	856.87	NEENAH 3501 TL	
401	10+25	14	DETAIL 6/14	856.20	856.62	856.62	856.62	NEENAH 3501 TR	
402	10+38	57	DETAIL 10/14	856.43	856.40	856.40	856.40	END-SECTION	RIP-RAP
108	0+66 N		DETAIL 10/14		856.05			END-SECTION	PROVIDE DEBRIS GUARD
109	0+10 N		DETAIL 10/14		856.64			END-SECTION	RIP-RAP



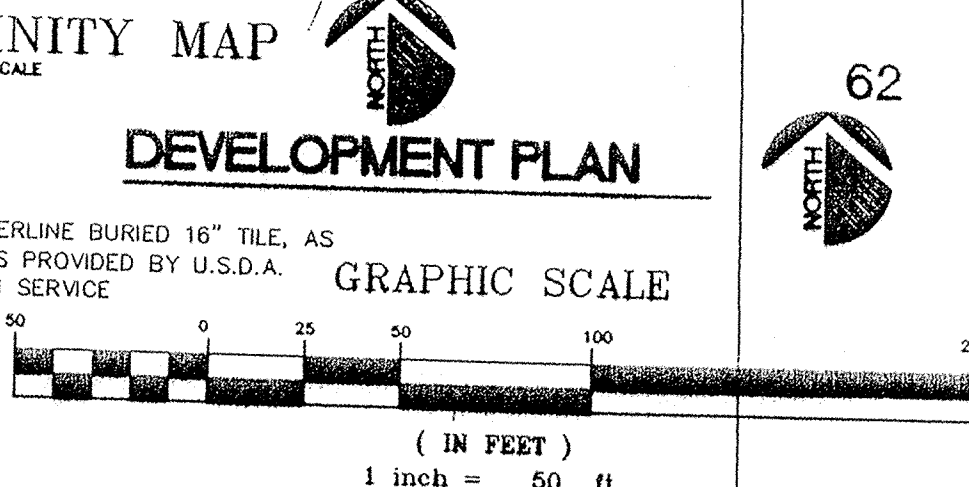
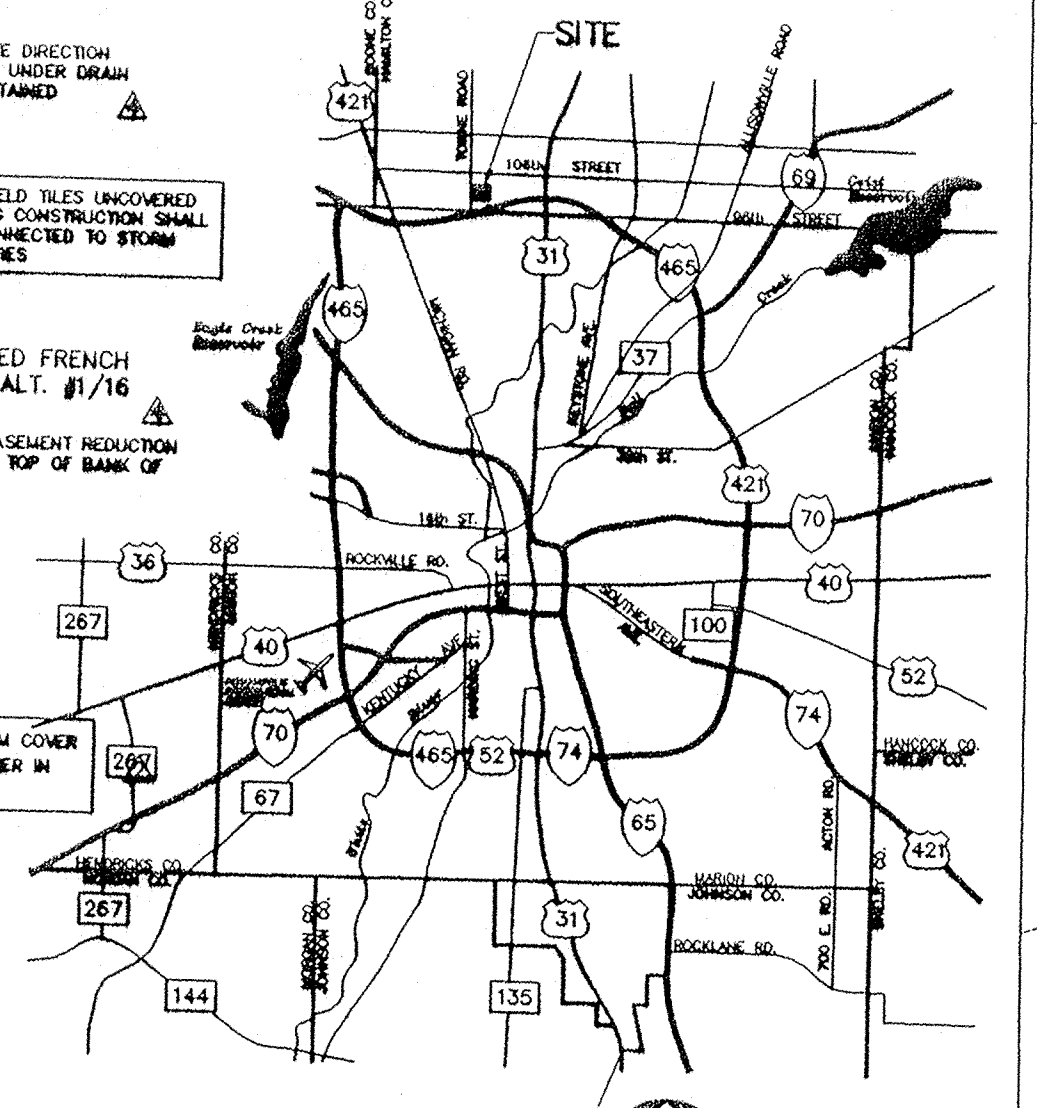
RECORD DRAWING

SEE PLAN & PROFILE SHEETS FOR TOP OF CASTING, INVERT ELEVATIONS AND LENGTHS OF PIPE. SLOPE PERCENTAGE REPRESENTS A CALCULATED FIGURE BETWEEN POINTS AS SHOWN. HOUSE LATERAL LOCATION, LENGTH, / DEPTH INFORMATION WAS PROVIDED BY THE CONTRACTOR & NOT INCLUDED IN THIS CERTIFICATION. THIS SHEET IS FOR SLOPE, DETENTION & GRADING AS-BUILT SPOT ELEV. ONLY.

CERTIFIED THIS 28TH DAY OF DECEMBER, 2000
KEELER-WEBB ASSOCIATES

ADAM L. DEHART
REGISTERED
No. 29500025
STATE OF INDIANA
LAND SURVEYOR

OFF-SITE DRAINAGE OUTLET TO BE CONSTRUCTED IN ACCORDANCE WITH THE RULING BY HAMILTON CO. DRAINAGE BOARD



INDIANAPOLIS WATER COMPANY
PROJECT LEGEND

PROJECT NAME	TREESDALE - SECTION 1			
PROJECT NUMBER	J-00-027			
Job #	Street Name	Pipe Size	Pipe Type	Total Pipe
1	TREESDALE CIRCLE	8"	FE	120'
	TREESDALE CIRCLE	8"	FVC	935'
	TREESDALE CIRCLE	6"	FVC	68'
2	PRIVATE DRIVE	3"	FE	240'
			Total	1363' ±

ISSUE FOR

DATE	TAC REVIEW	REVISIONS	IWC REVISIONS	IWC & SURVEYOR REVISIONS	SURVEYOR REVISIONS
12/16/98					
12/08/00					
3/02/00					
4/17/00					
5/16/00					
5/12/00					

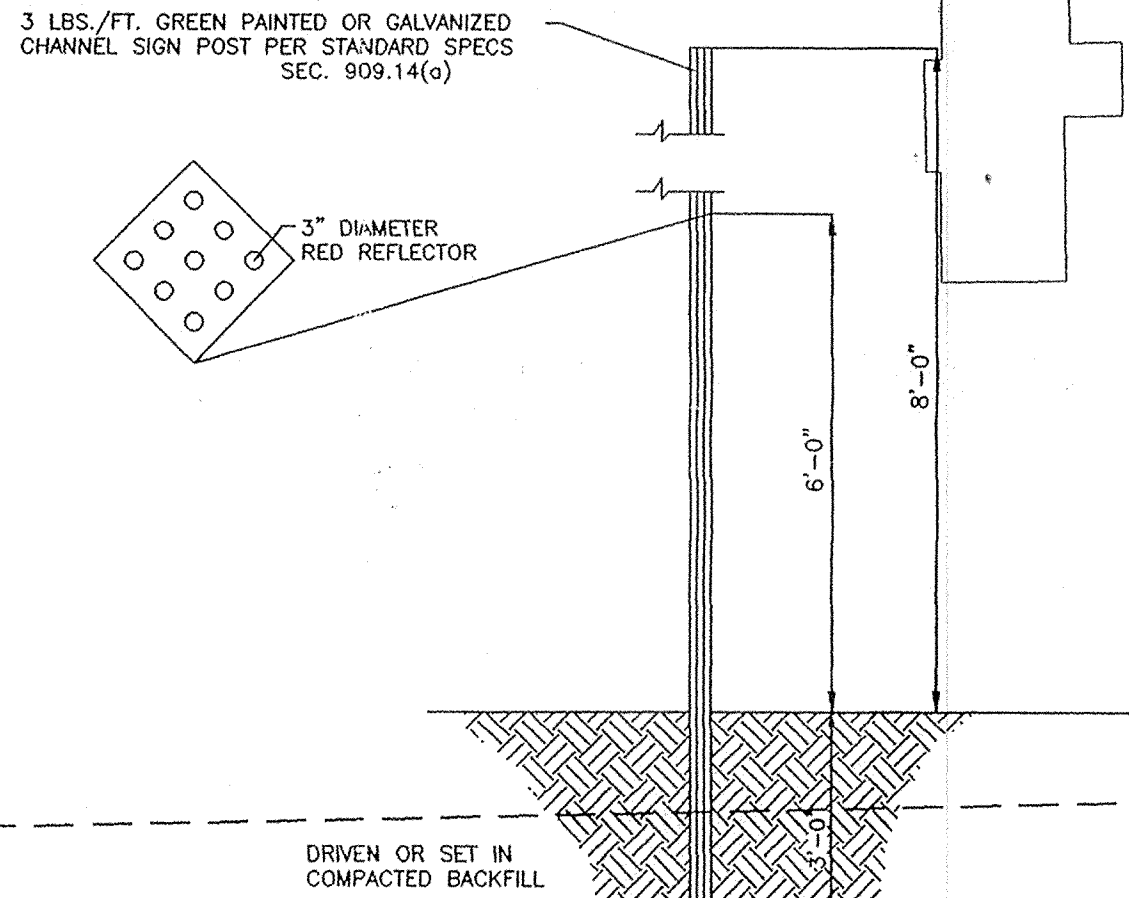
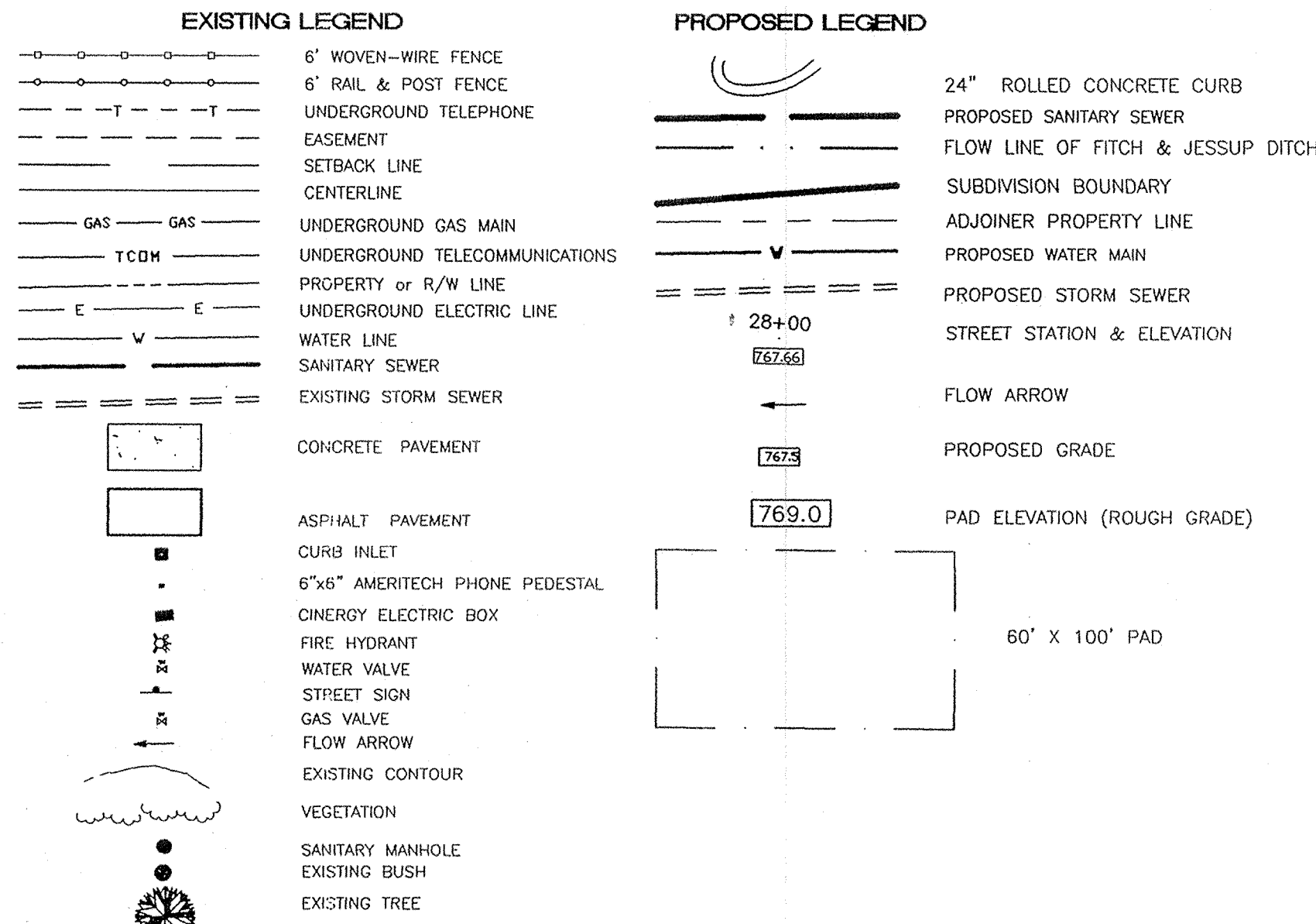
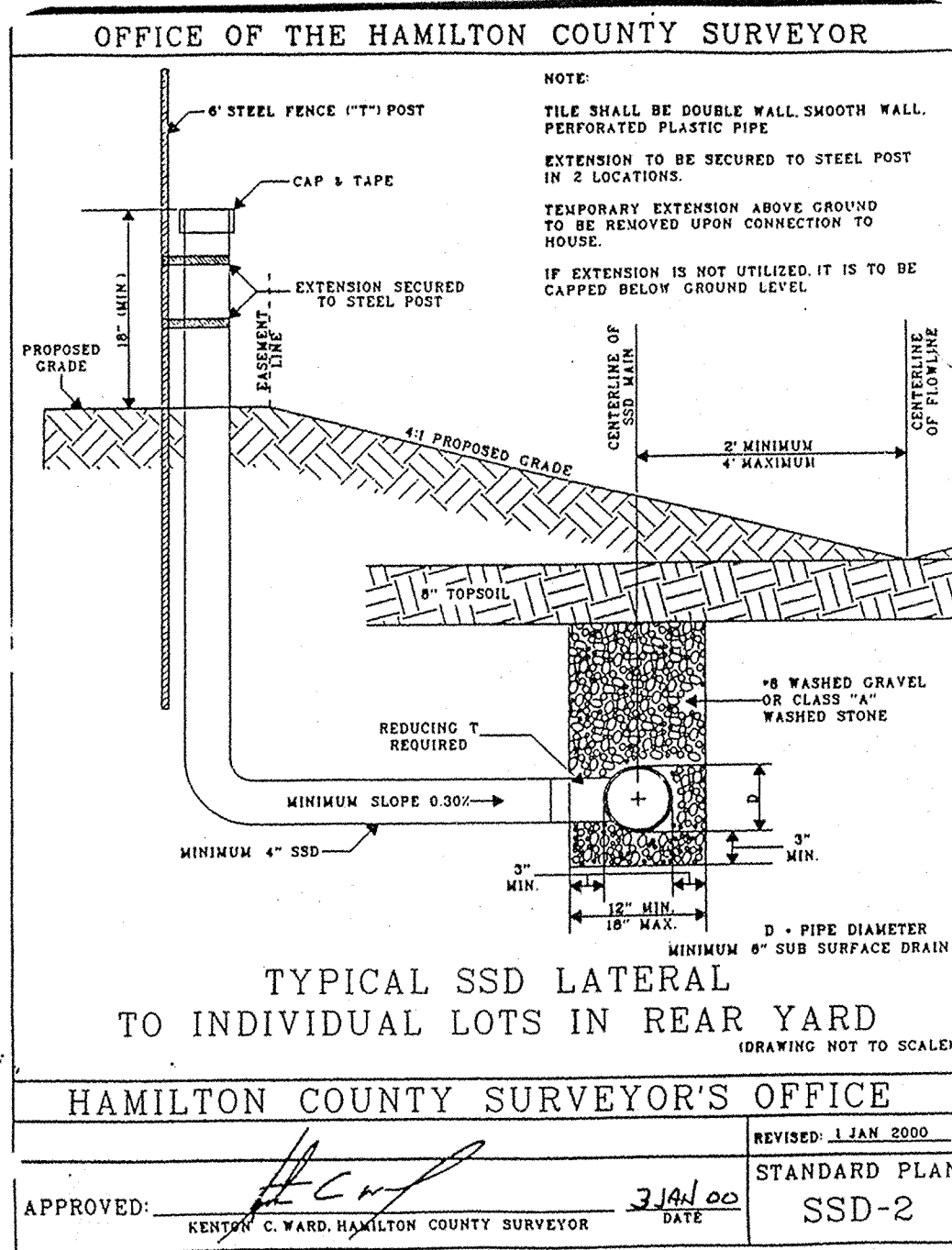
KEELER-WEBB ASSOCIATES
Consulting Engineers-Planners-Surveyors

RICHARD CARRIGER
BUILDER & DEVELOPER
8510 E. 90th St., Suite 26
Indianapolis, IN 46240
317-846-9221 Fax 846-9600

INDIANAPOLIS WATER COMPANY
PART OF S 1/2SW 1/4 NW 1/4
SECTION 8 TOWNSHIP 17 NORTH RANGE 8 EAST
TOWNE ROAD
CARMEL, INDIANA

DEVELOPMENT PLAN
TREESDALE

DRAWN BY: PAW
CHECKED BY: ALD
PROJECT No. 9905-008
SHEET No.



- NOTES:
- NINE (9) RED REFLECTORS ARE TO BE MOUNTED SYMMETRICALLY ON AN 18-INCH DIAMOND RED PANEL.
 - THREE (3) END-OF-ROAD MARKERS ARE TO BE PLACED AT EACH LOCATION. MARKERS ARE TO BE SET EVENLY ACROSS THE WIDTH OF THE ROAD.

END OF ROAD MARKERS
SCALE: NOT TO SCALE

HAMILTON COUNTY INDIANA

This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.

Entry Date: 5-26-2004

Entered by: SIm

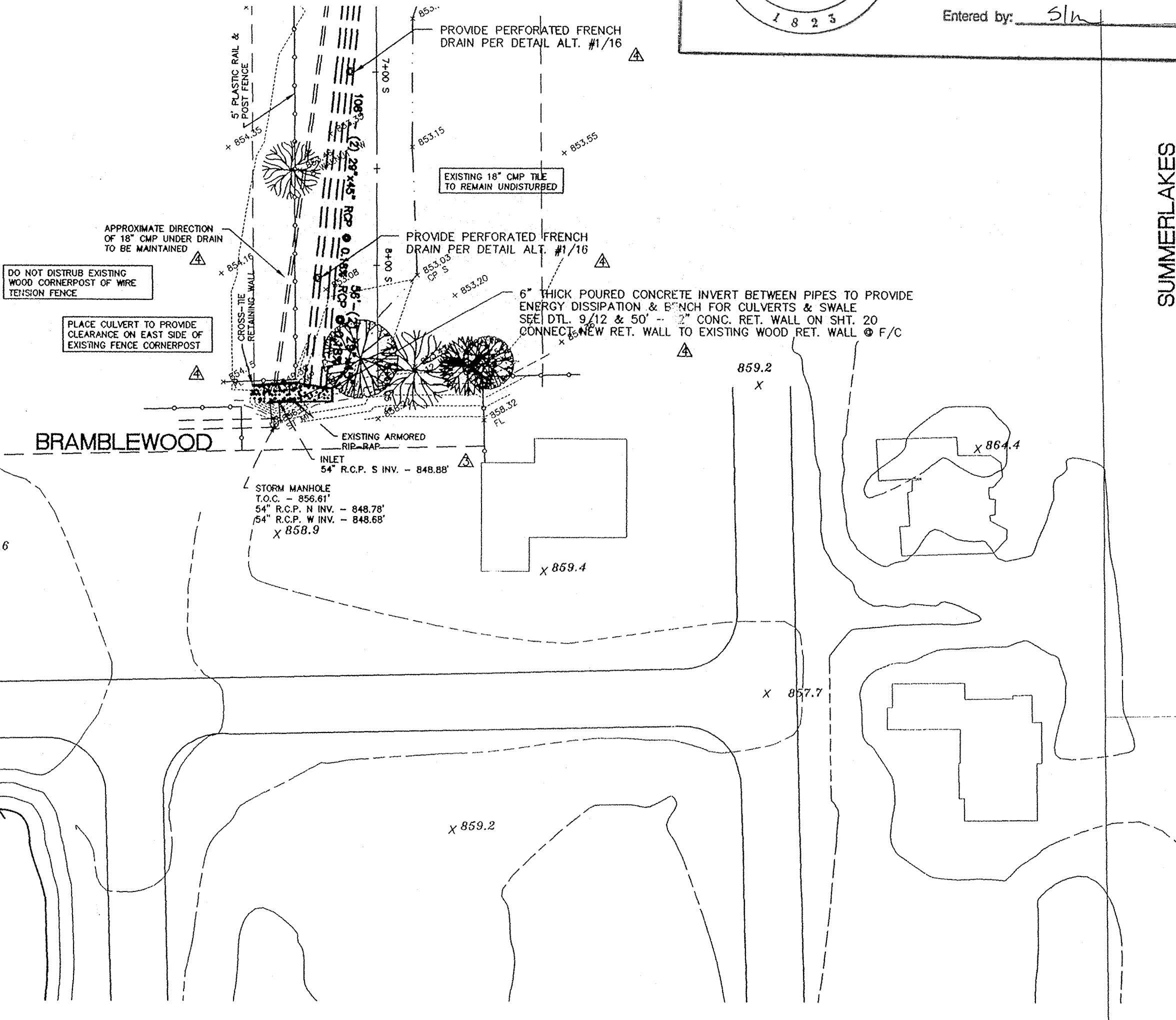
STORM STRUCTURE DATA

STR. #	LOCATION	L	R	DESCRIPTION	UPSTREAM ELEVATION	DOWNSTREAM ELEVATION	TOP OF CASTING @ FL	CASTING	REMARKS
112	7+99 S			DETAIL 9/8		849.20			END-SECTION DEBRIS GUARD
113	8+57 S	43		DETAIL 9/8		848.98			END-SECTION DEBRIS GUARD

DEVELOPER SHOULD PLUG AND CAP ALL WELLS ON THE PROPERTY

EXISTING BUILDINGS AND OTHER IMPROVEMENTS ON THE PROPERTY SHOULD BE REMOVED BY THE DEVELOPER. DEBRIS SHOULD NOT BE BURIED ON-SITE

MATCH LINE SHEET 4



HAMILTON COUNTY INDIANA

This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.

Entry Date: 5-26-2004

Entered by: SIm

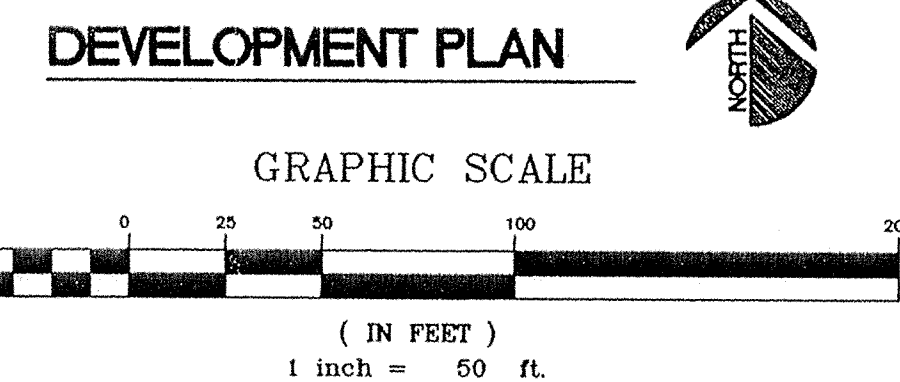
OFFICE OF THE HAMILTON COUNTY SURVEYOR

CURB INLET (Page 1)
CURB INLET TABLE

PIPE SIZE (INCHES)	STRUCTURES LESS THAN 48" FROM T/C TO INVERT (INCHES)	STRUCTURES GREATER THAN 48" FROM T/C TO INVERT	ANGLE AND QUALITY OF PIPES WILL REQUIRE SPECIAL DESIGN	STEPS REQUIRED	CURB CASTING R-300IN	CASTING 350I TL & TR
18 TO 24	24 X 24	...	DESIGN APPROVAL	NO	YES	YES
18 TO 24	30 X 30	...	DESIGN APPROVAL	NO	YES	YES
18 TO 24	M/I/BOX	...	DESIGN APPROVAL	YES	YES	YES
24 TO 30	24 X 36	...	DESIGN APPROVAL	NO	NO	YES
24 TO 30	36 X 36	...	DESIGN APPROVAL	NO	YES	YES
24 OR LARGER	DESIGN	...	DESIGN APPROVAL	NO	NO	YES
24 OR LARGER	APPROVAL	...	DESIGN APPROVAL	YES**	YES	YES

* PIPES NO LARGER THAN 18" CAN BE USED IN THE 2' SIDE OF THIS BOX.
**INCOMING AND OUT GOING PIPES EFFECT STEPS IN THIS STRUCTURE.
***SPECIAL NOTE: STRUCTURES DEEPER THAN 48" FROM T/C TO INVERT WILL BE A M/I/BOX OR A BOX WITH STEPS UNLESS SPECIAL DESIGN IS APPROVED.
SPECIAL NOTE: STRUCTURES WILL BE DESIGNED FOR MAXIMUM FLOW IN PIPES.
SPECIAL NOTE: COUNTY MAY REQUIRE STEPS TO BE INSTALLED AFTER STRUCTURE IS SET, TO IMPROVE ACCESS.

HAMILTON COUNTY SURVEYOR'S OFFICE
REVISED 23 OCT 1997
STANDARD PLAN
APPROVED: [Signature] DATE 2/23/07
KENTON C. WARD, HAMILTON COUNTY SURVEYOR



ADAM L. DEHART REGISTERED No. 29500025 STATE OF INDIANA LAND SURVEYOR

KEELER-WEBB ASSOCIATES Consulting Engineers-Planners-Surveyors

BUILDER & DEVELOPER
90510 E. 90th St., Suite 26
Indianapolis, IN 46240
317-848-0221 Fax 848-0500

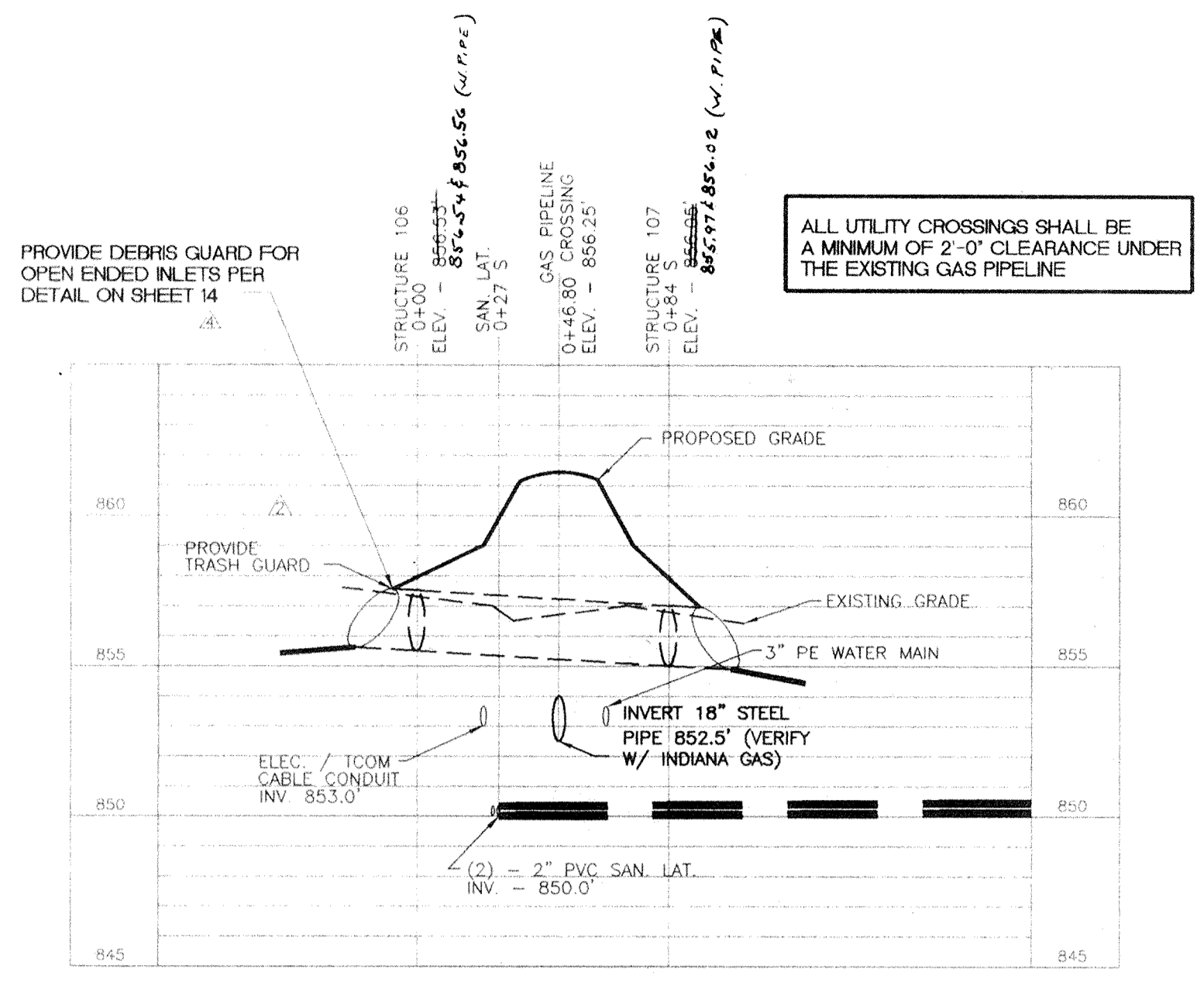
RICHARD CARRIGER

DEVELOPMENT PLAN
TUESDALE
PART OF S 1/2 SW 1/4 NW 1/4
SECTION 8 TOWNSHIP 7 NORTH RANGE 9 EAST
TOWNE ROAD
CARMEL, INDIANA

DRAWN BY: PAW
CHECKED BY: ALD

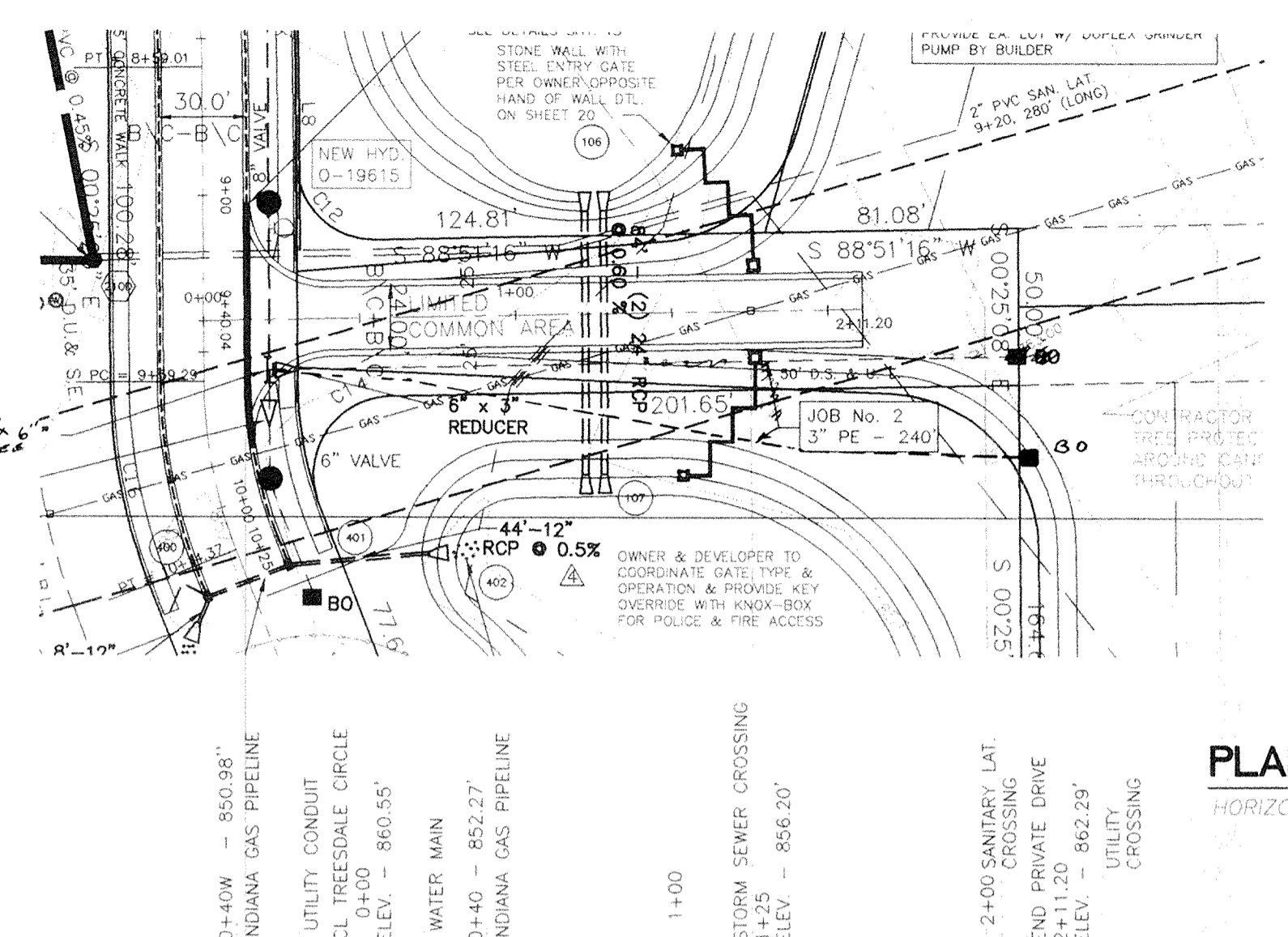
PROJECT No.
9905-008

SHEET No.
5



LIMITED COMMON AREA DRIVE PROFILE

VERTICAL SCALE: 1" = 5'
HORIZONTAL SCALE: 1" = 50'



PLAN VIEW

HORIZONTAL SCALE: 1" = 50'

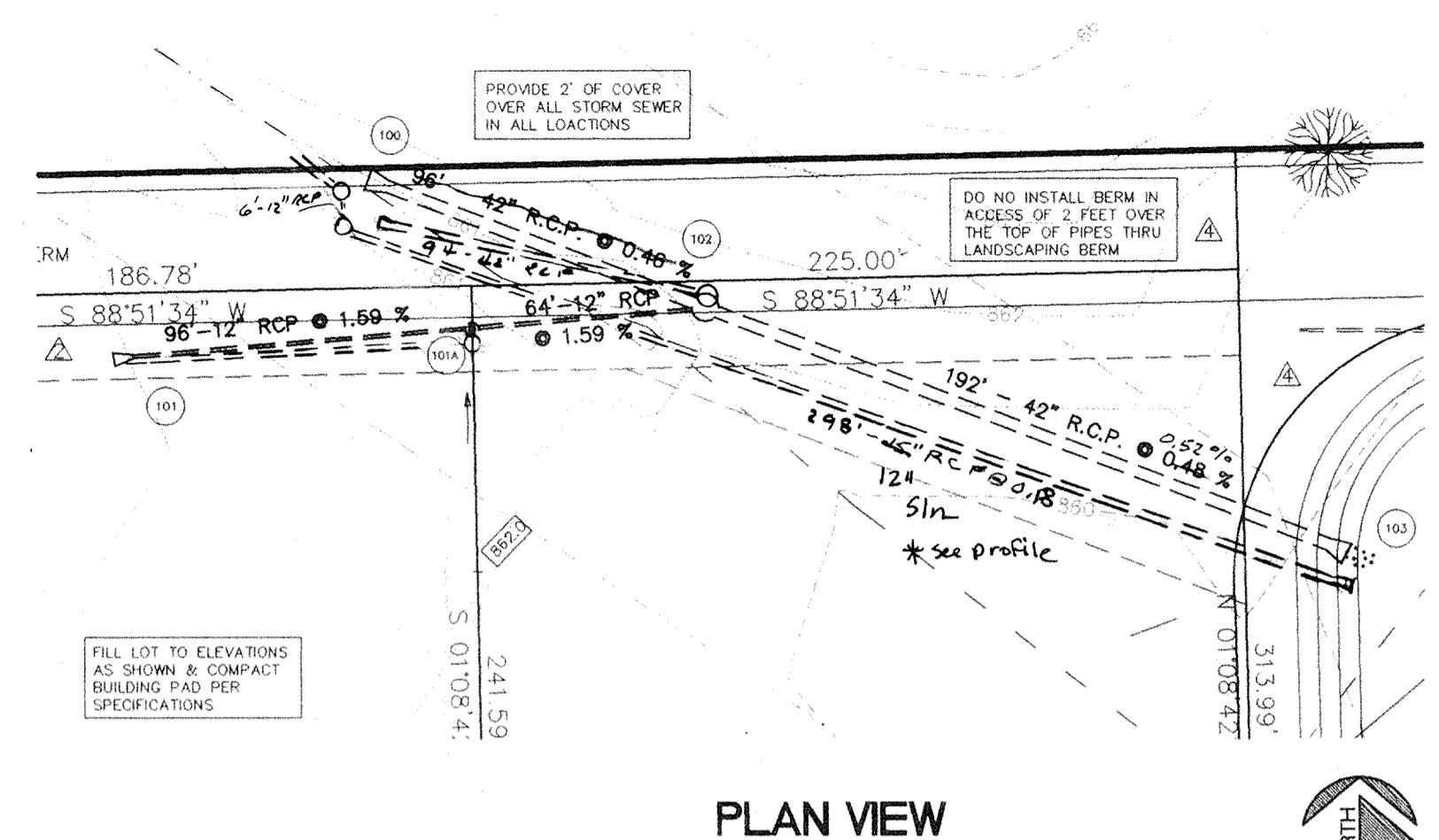
RECORD DRAWING

RECORD CERTIFICATION FOR TOP OF CASTING, INVERT ELEVATIONS AND LENGTHS OF PIPE. SLOPE PERCENTAGE REPRESENTS A CALCULATED FIGURE BETWEEN POINTS AS SHOWN.

RECEIVED THIS 15TH DAY OF DECEMBER 2000
KEELER-WEBB ASSOCIATES

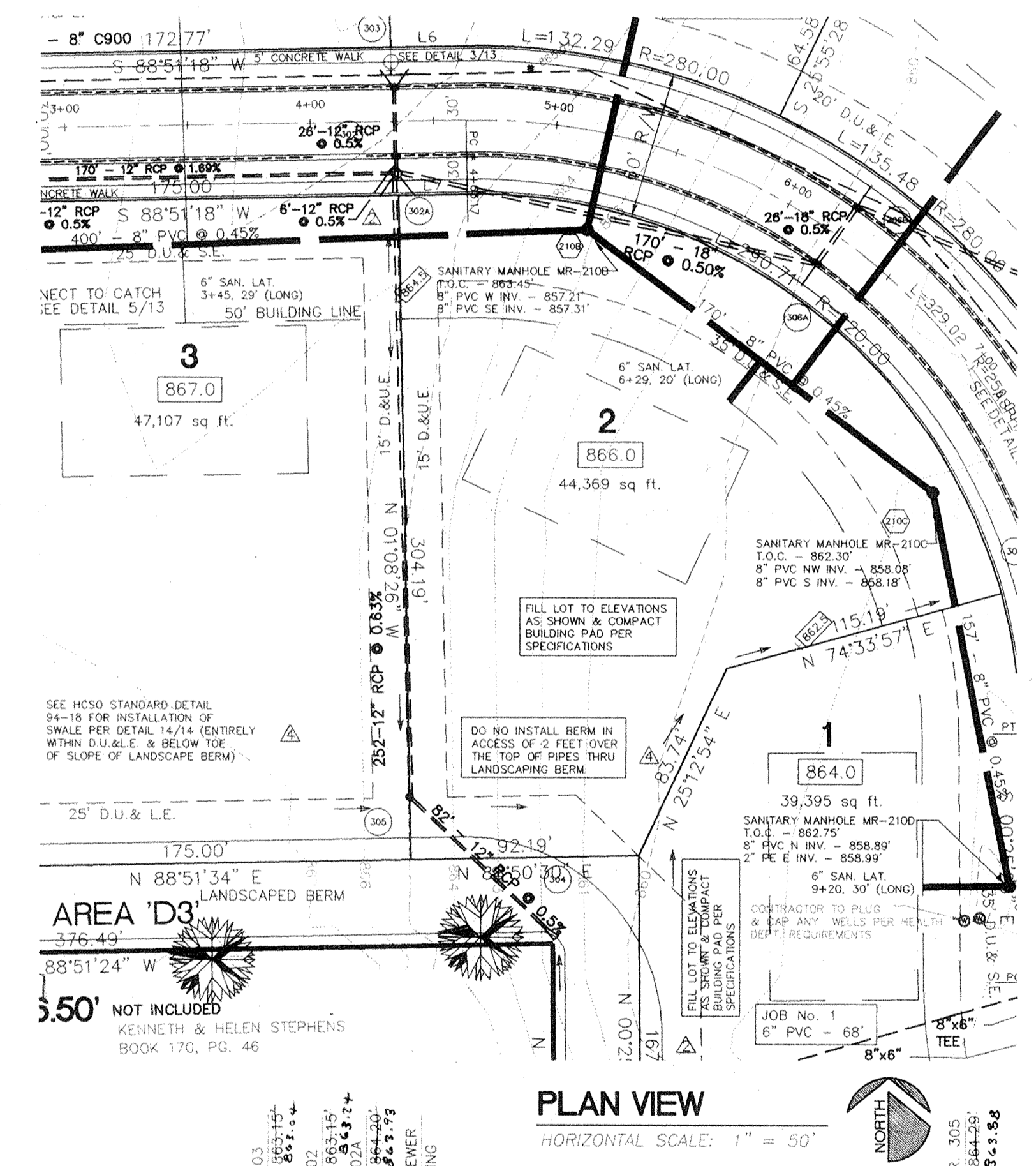
ADAM L. DEHART
REGISTERED
No. 29500025
INDIANA
LAND SURVEYOR

A.L. DEHART, L.S.
STATE OF INDIANA
REGISTRATION No. 29500025



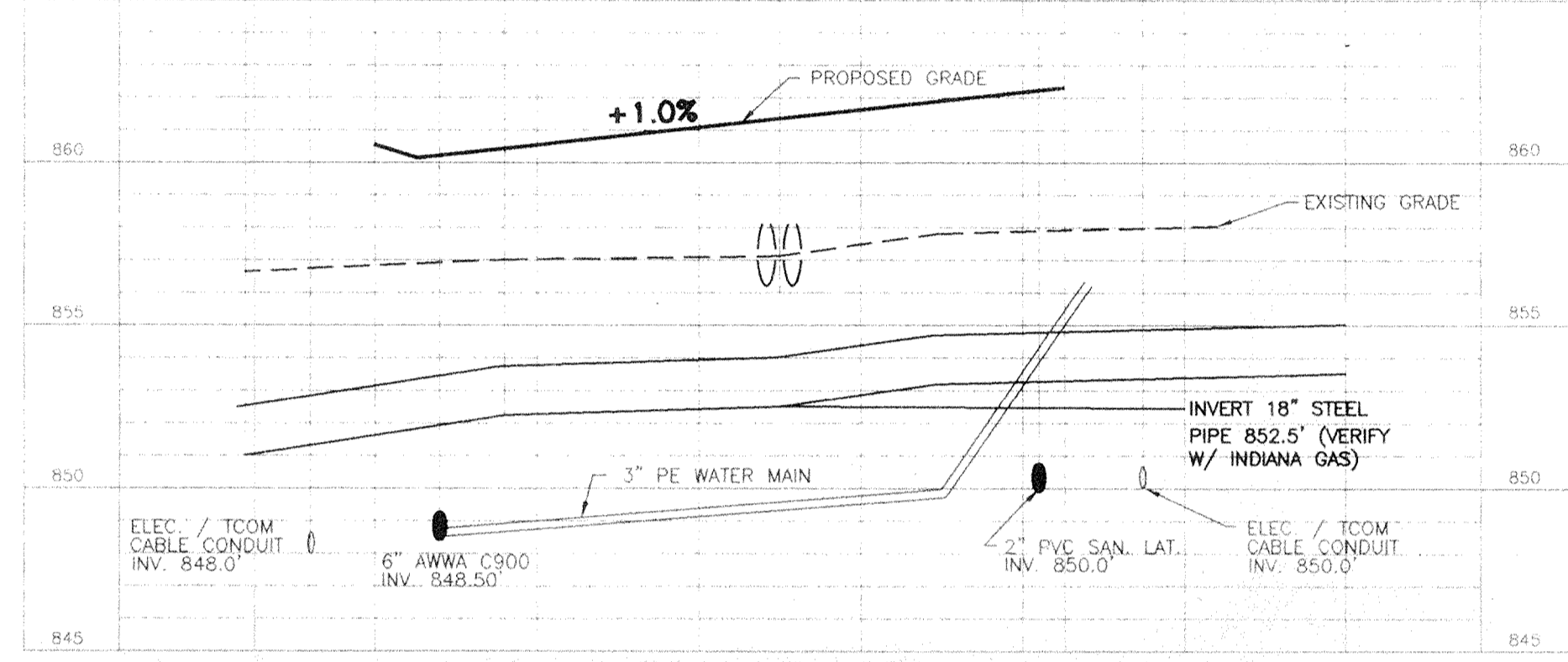
PLAN VIEW

HORIZONTAL SCALE: 1" = 50'



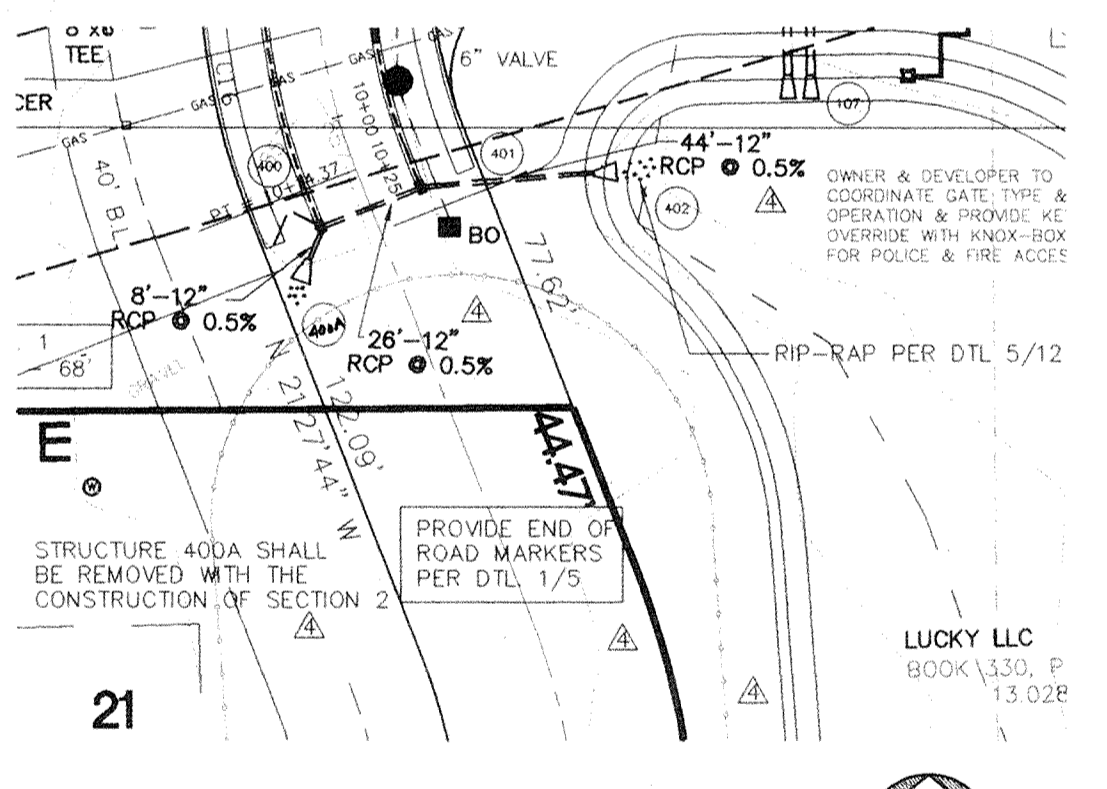
PLAN VIEW

HORIZONTAL SCALE: 1" = 50'



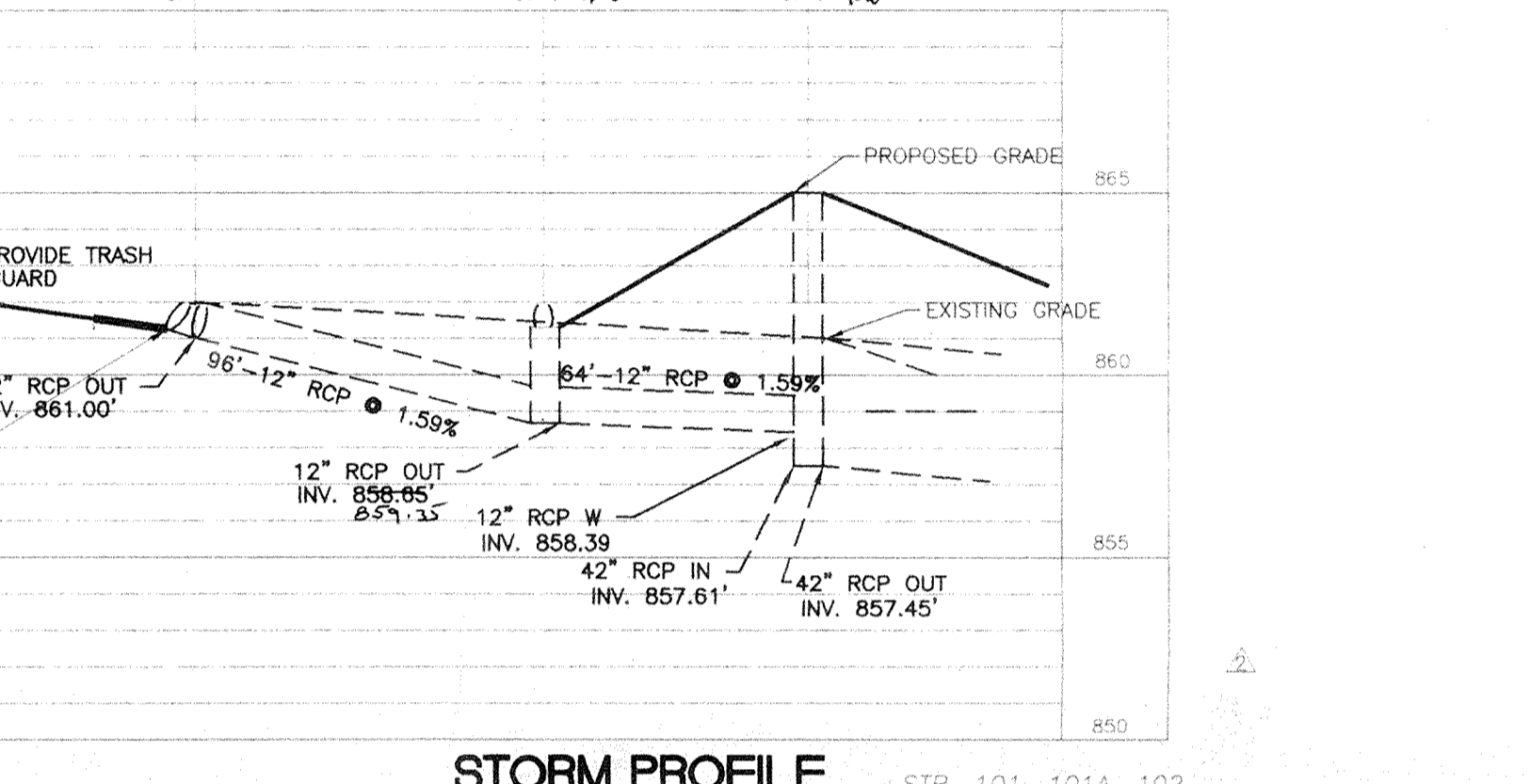
LIMITED COMMON AREA DRIVE PROFILE

VERTICAL SCALE: 1" = 5'
HORIZONTAL SCALE: 1" = 50'



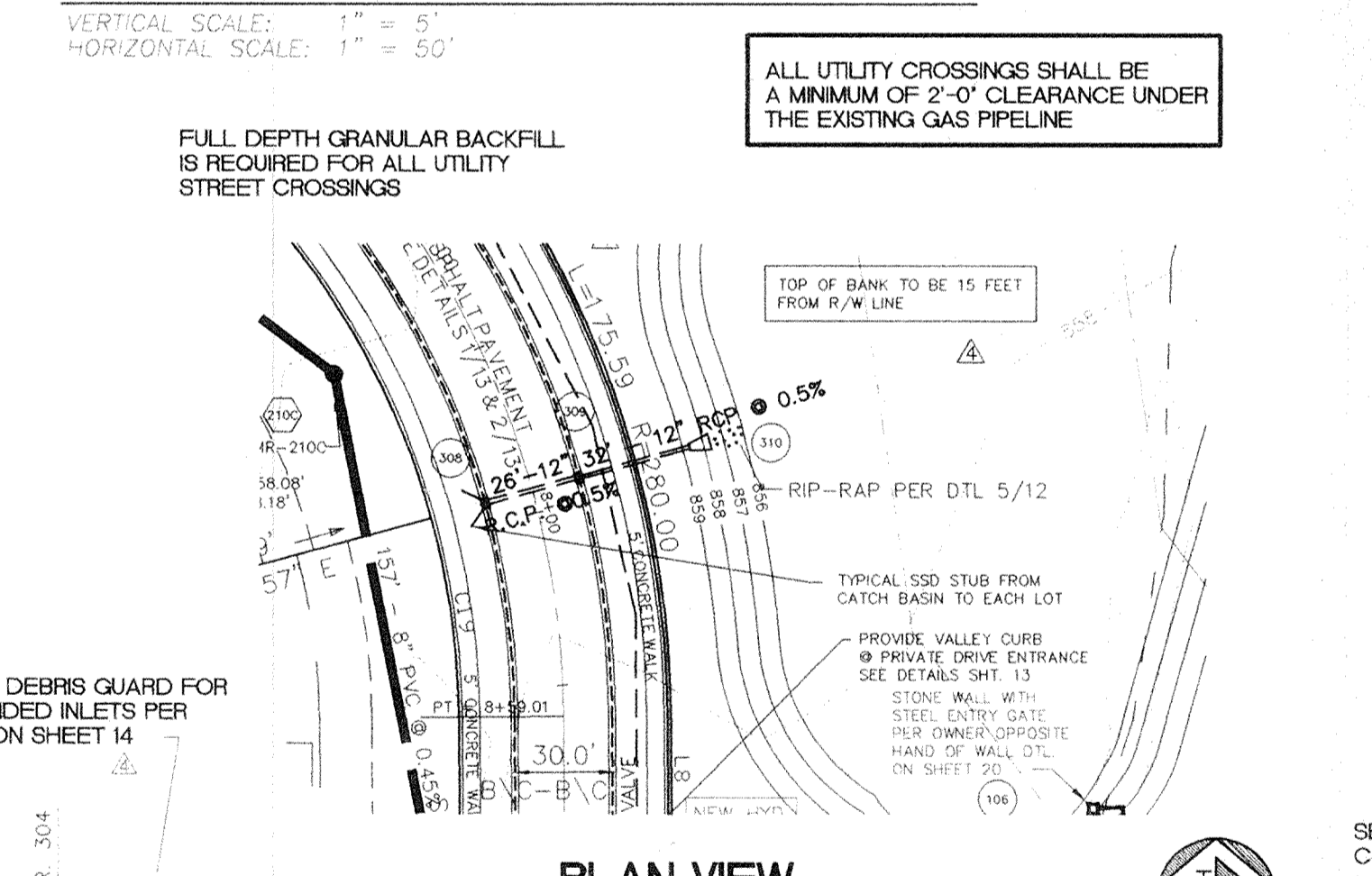
PLAN VIEW

HORIZONTAL SCALE: 1" = 50'



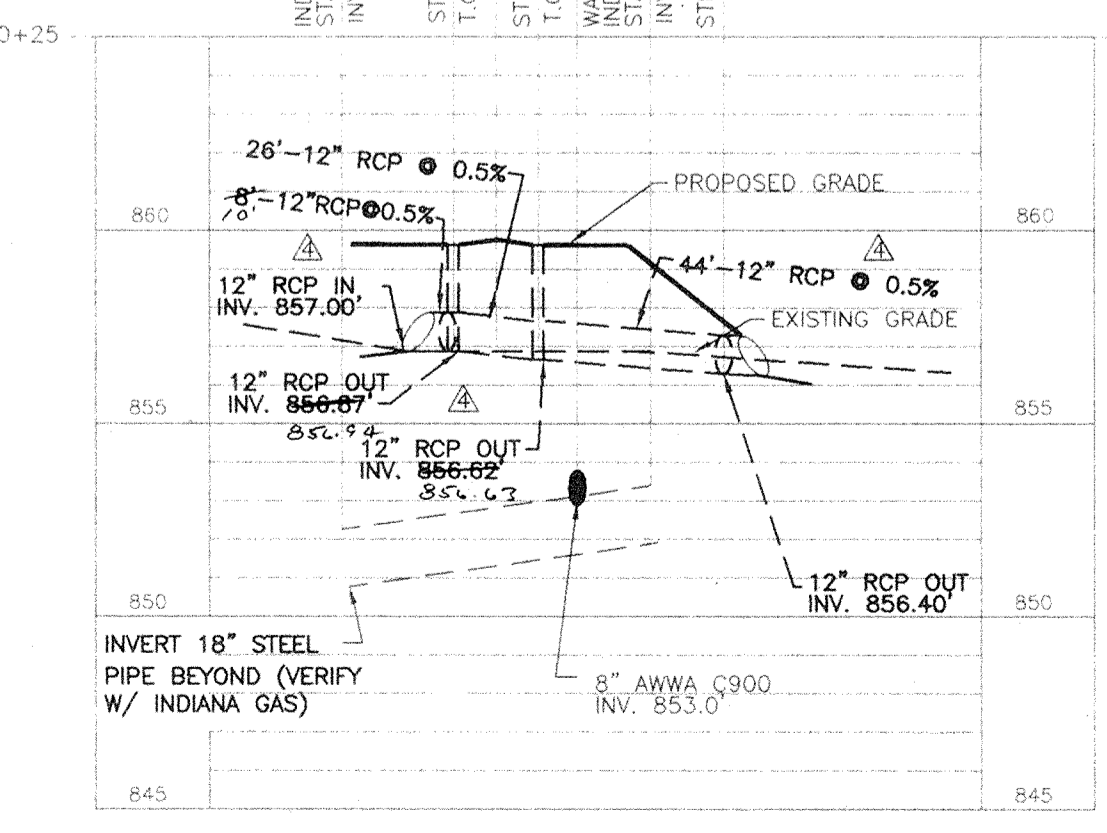
STORM PROFILE

VERTICAL SCALE: 1" = 5'
HORIZONTAL SCALE: 1" = 50'



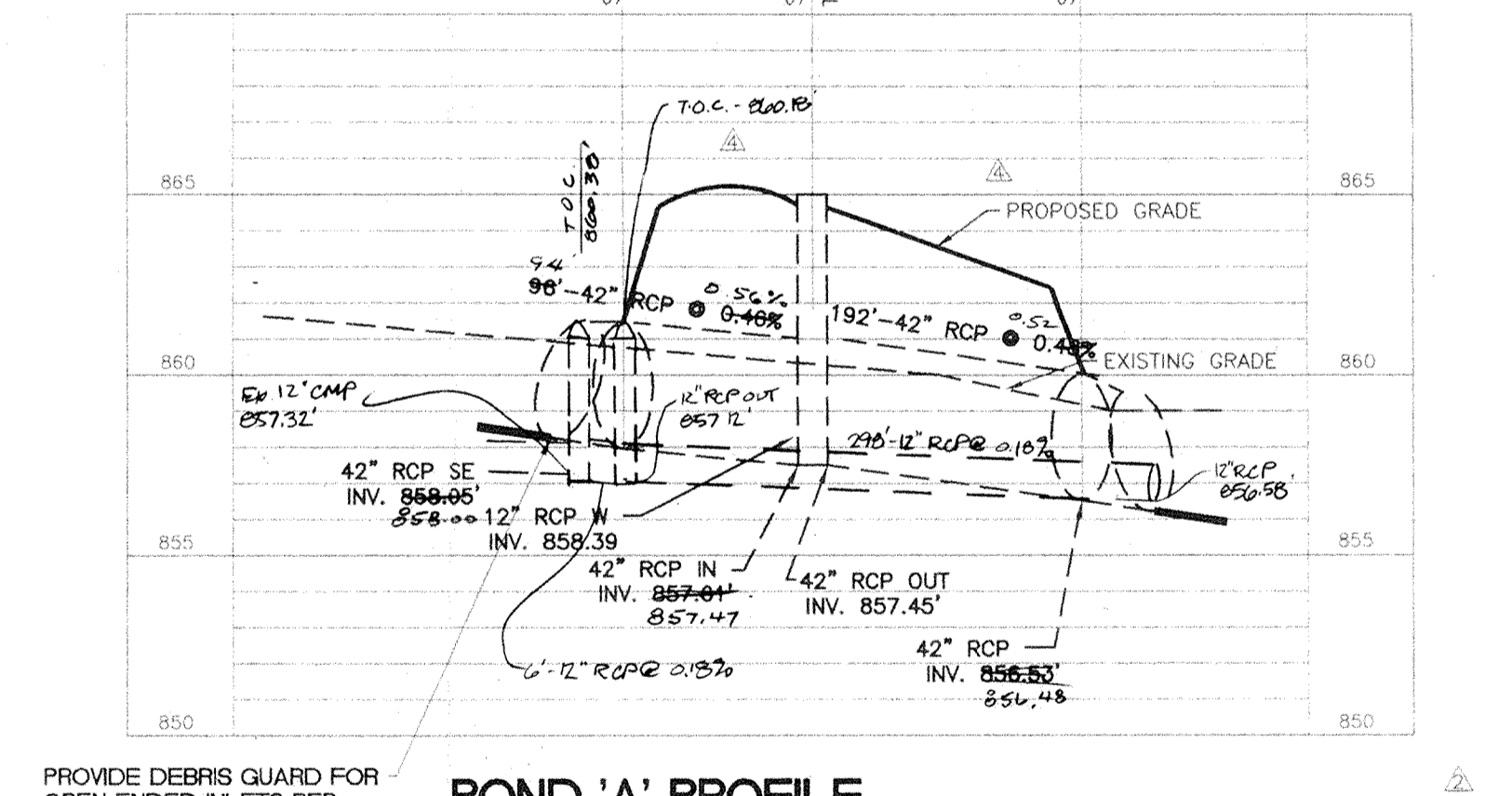
PLAN VIEW

HORIZONTAL SCALE: 1" = 50'



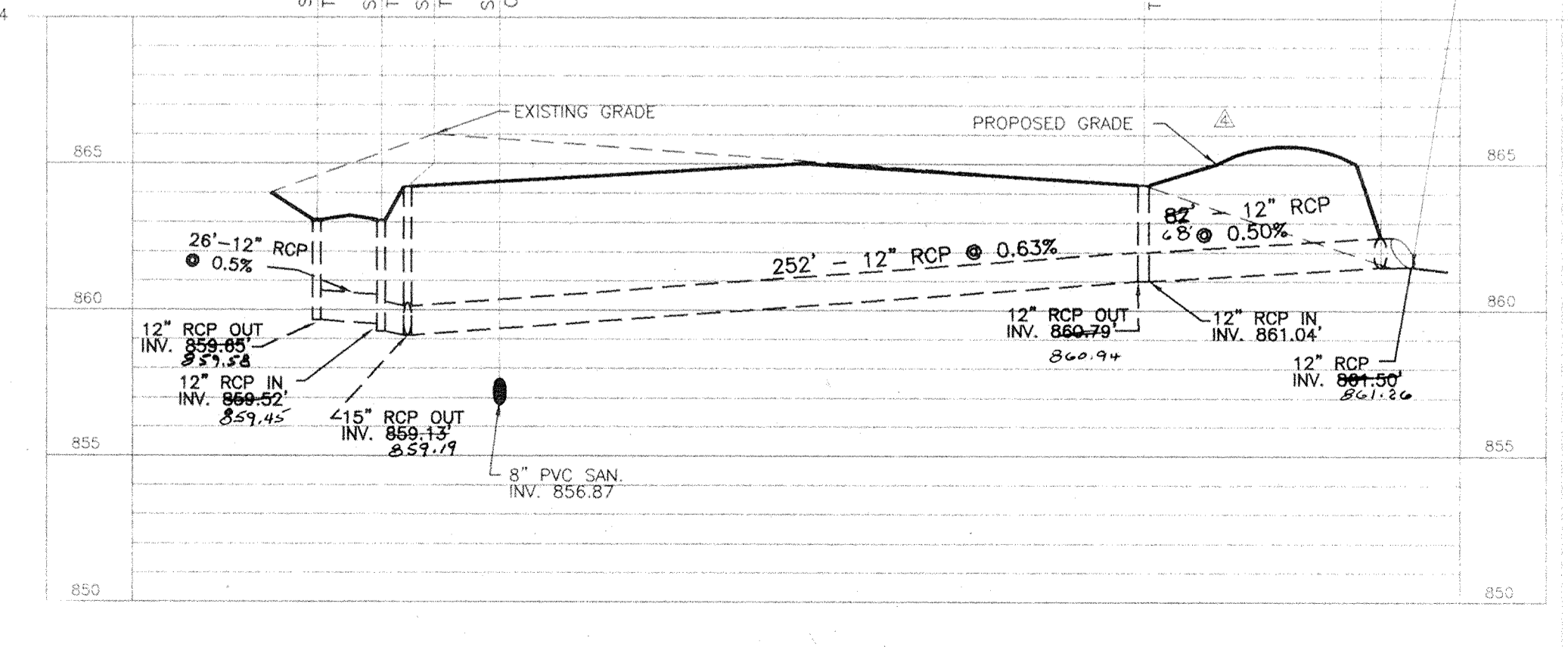
TREESDALE CIRCLE PROFILE

VERTICAL SCALE: 1" = 5'
HORIZONTAL SCALE: 1" = 50'



POND 'A' PROFILE

VERTICAL SCALE: 1" = 5'
HORIZONTAL SCALE: 1" = 50'

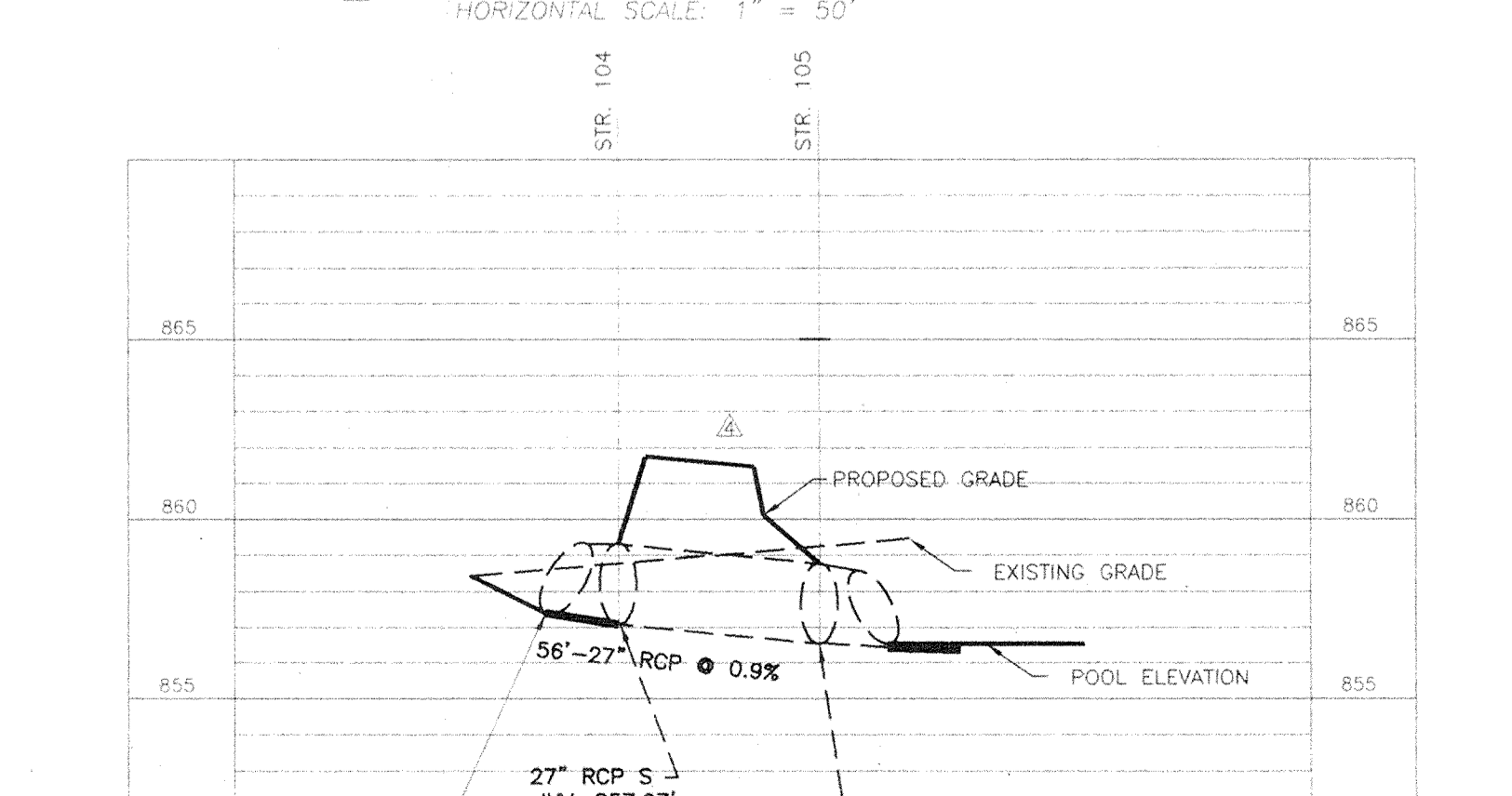


STORM PROFILE

VERTICAL SCALE: 1" = 5'
HORIZONTAL SCALE: 1" = 50'

TREESDALE CIRCLE PROFILE

VERTICAL SCALE: 1" = 5'
HORIZONTAL SCALE: 1" = 50'

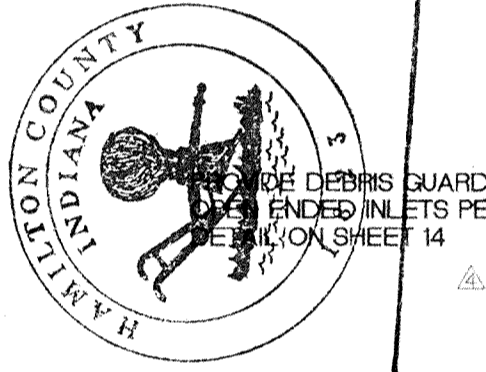


POND 'A' PROFILE

VERTICAL SCALE: 1" = 5'
HORIZONTAL SCALE: 1" = 50'

This information was gathered for input into the Hamilton County Geographical Information System. This information is considered an official record of the GIS.

Entry Date: 5-24-2004
Entered by: SLK



DATE	ISSUE
12/16/99	FOR REVIEW
1/25/00	REVISIONS
2/08/00	REVISIONS
4/17/00	SUBMITTER REVISIONS
5/16/00	SUBMITTER REVISIONS
11/12/00	SUBMITTER REVISIONS

KEELER-WEBB ASSOCIATES
Consulting Engineers-Planners-Surveyors

3050 E. 90th St., Suite 26
Indianapolis, IN 46240
TELEPHONE (317) 574-0140
486 GRADE DRIVE
CARMEL, INDIANA 46032

RICHARD CARRIGER
BUILDER & DEVELOPER

3050 E. 90th St., Suite 26
Indianapolis, IN 46240
317-846-9800

STREET/STORM SEWER PLAN AND PROFILE

TREESDALE

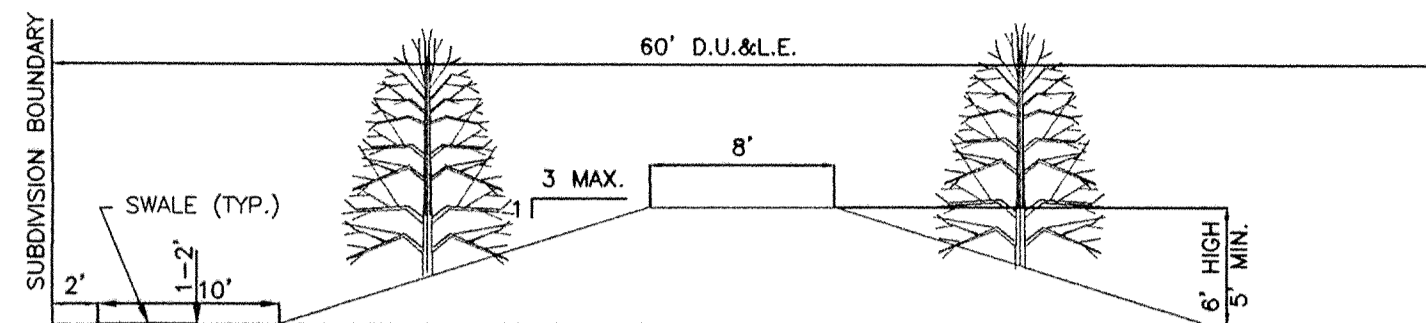
PART OF S 1/2 SW 1/4 NW 1/4
SECTION 9 TOWNSHIP 17 NORTH RANGE 5 EAST
TOWNE ROAD
CARMEL, INDIANA

DRAWN BY: PAW
CHECKED BY: ALD

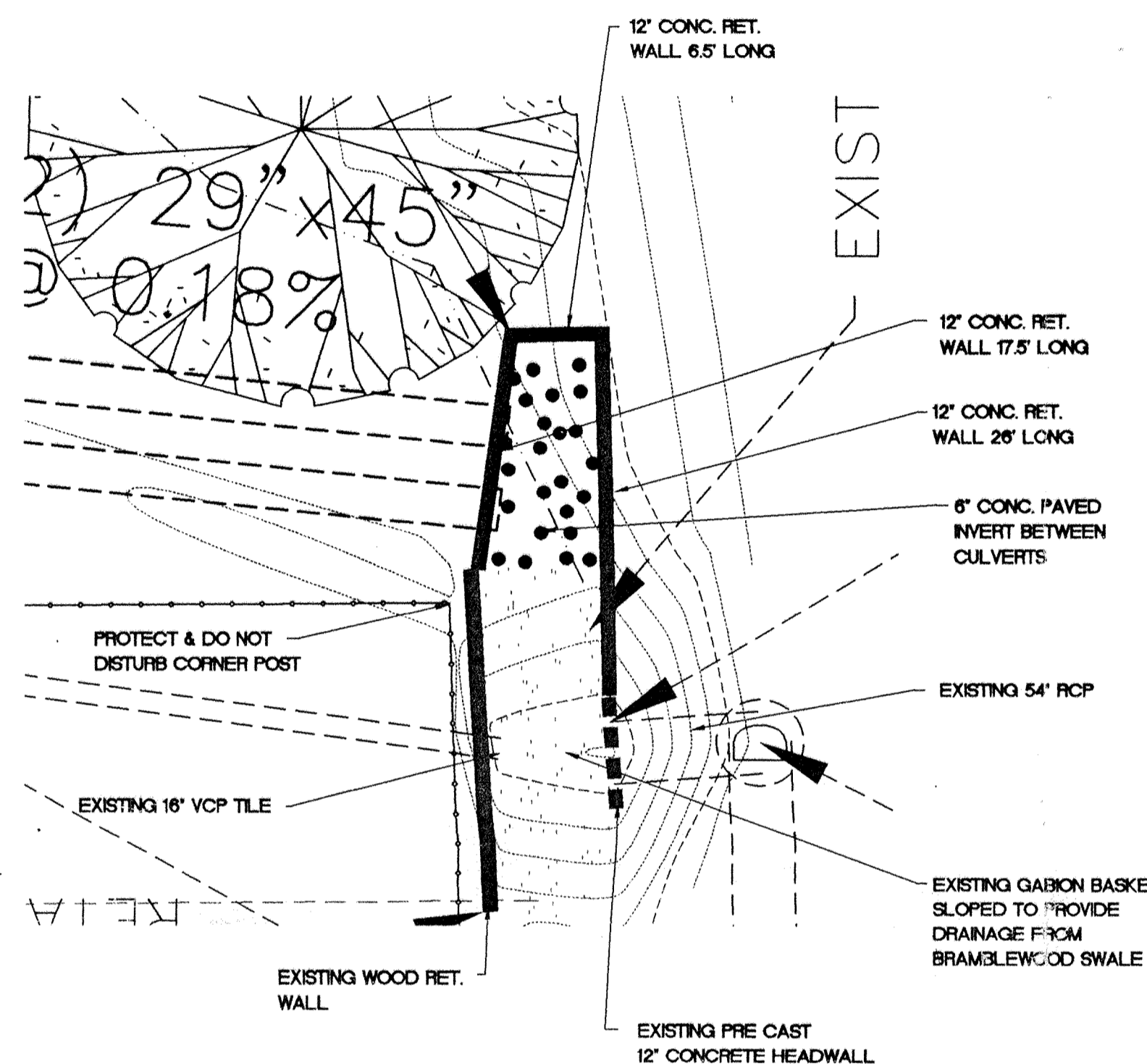
PROJECT No.
9905-008

SHEET No.
15A

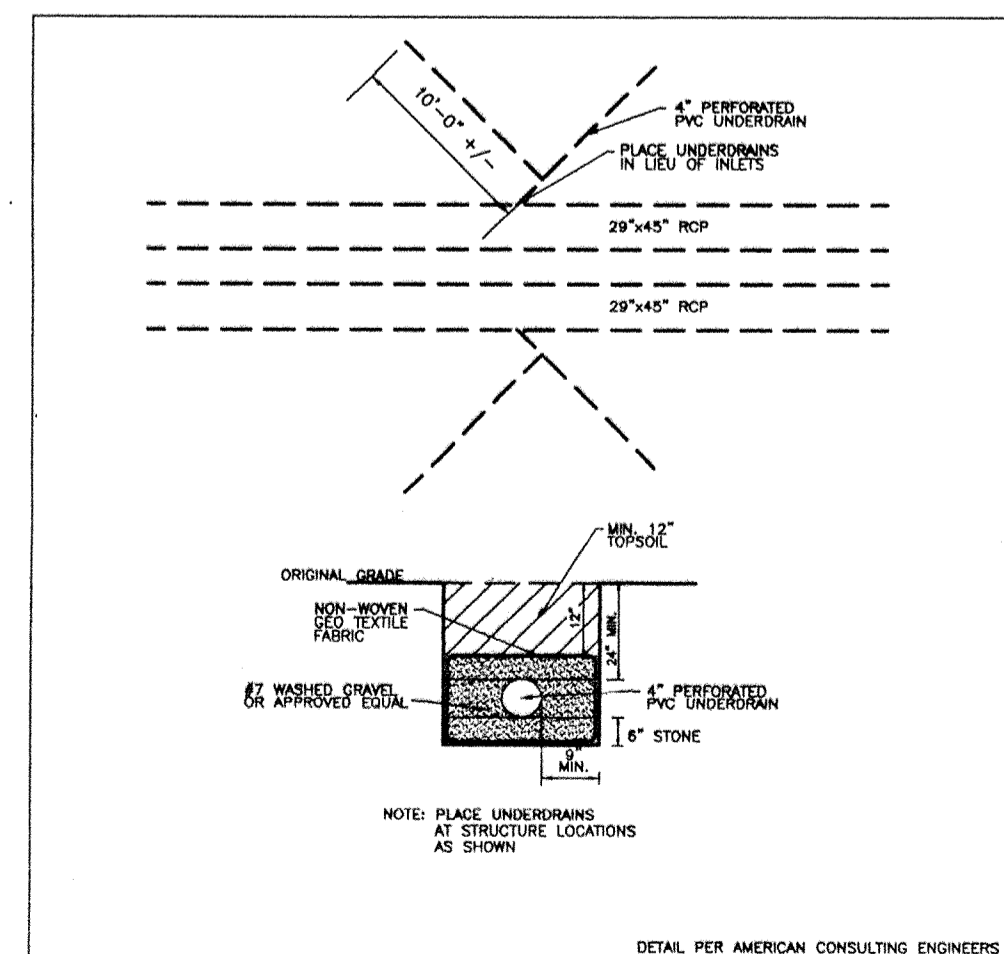
FILED
SEP 19 2002
OFFICE OF HAMILTON COUNTY SURVEYOR



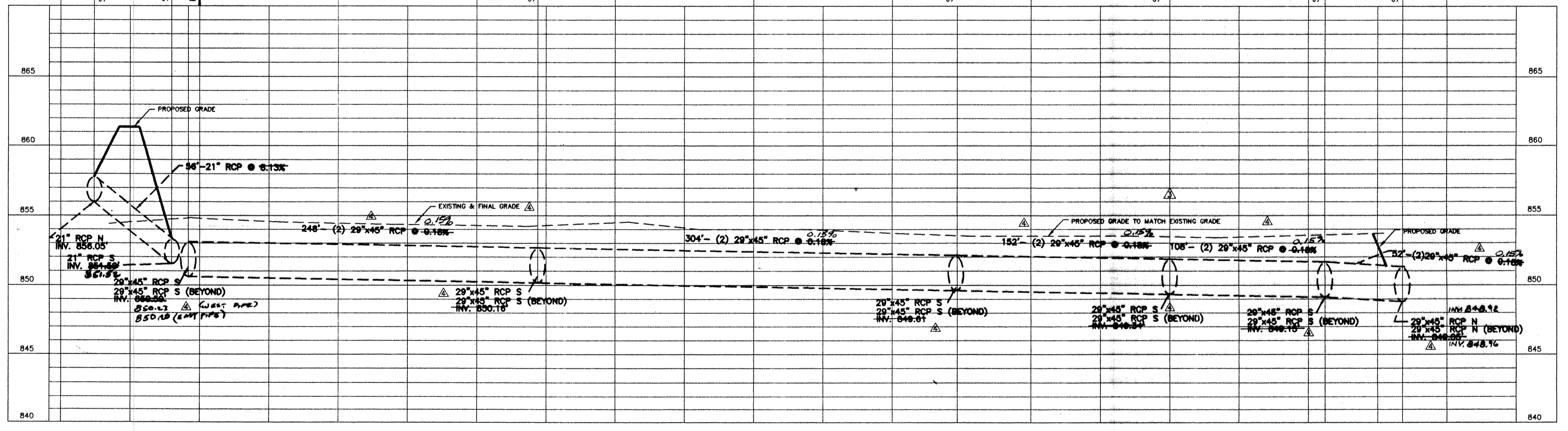
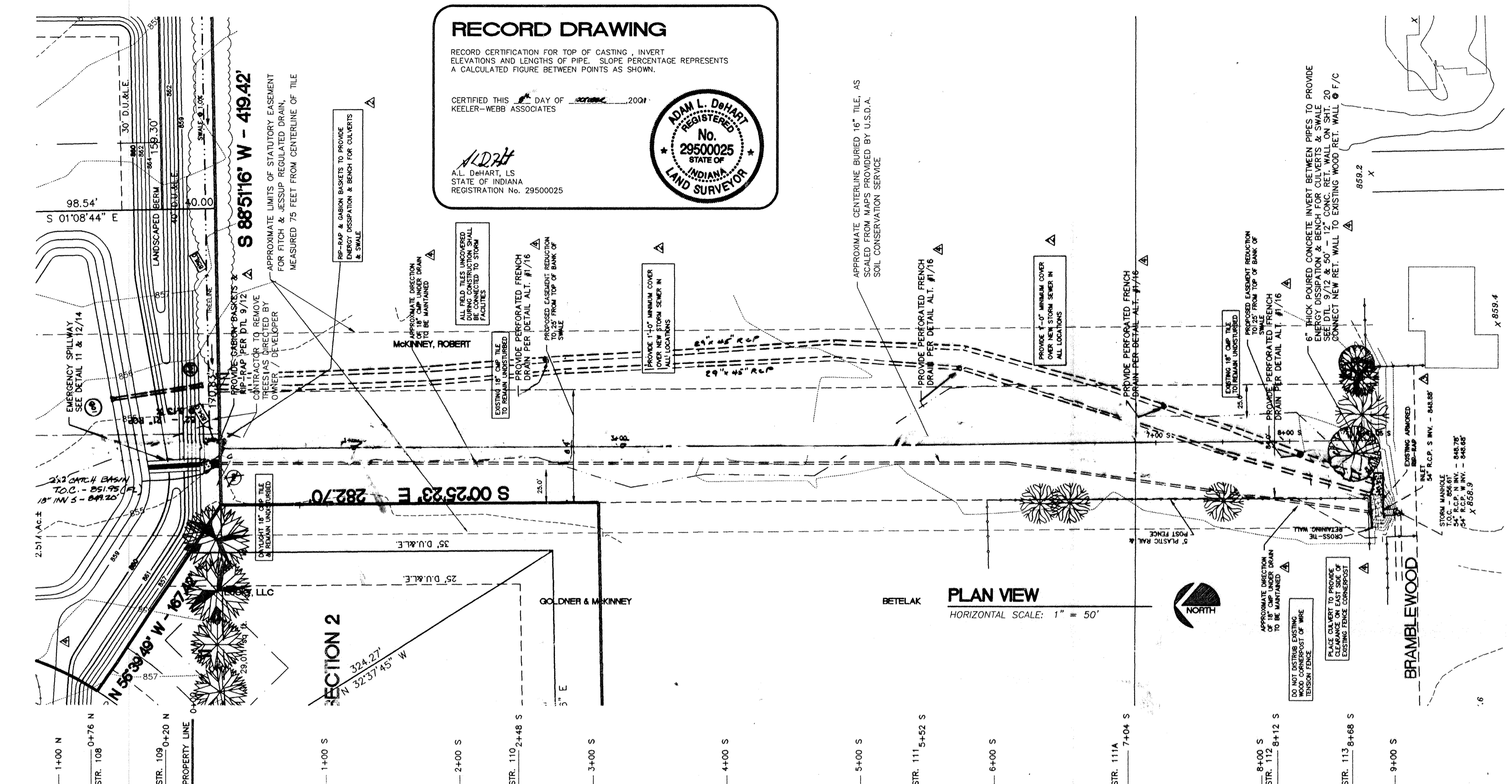
TYPICAL LANDSCAPED BERM DETAIL ALONG SOUTH PROPERTY LINE
NOT TO SCALE



OUTLET DETAIL
SCALE: 1" = 10'



FRENCH DRAIN DETAIL
NOT TO SCALE



PROVIDE DEBRIS GUARD FOR OPEN ENDED INLETS PER DETAIL ON SHEET 14

OFF-SITE DRAINAGE OUTLET TO BE CONSTRUCTED IN ACCORDANCE WITH THE RULING BY HAMILTON CO. DRAINAGE BOARD

OFF-SITE PROFILE - PLAN B
VERTICAL SCALE: 1" = 5'
HORIZONTAL SCALE: 1" = 50'



This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.
Entry Date: 5-26-2004
Entered by: SLK

CONTRACTOR SHALL CORRELATE WITH SURVEYORS OFFICE PERSONNEL TO ALIGN TWIN 20"x45" RCP W/ 54" RCP TO MINIMIZE DISTURBING SURROUNDING EXISTING GRADES AND IMPROVEMENTS

RECORD DRAWING

RECORD CERTIFICATION FOR TOP OF CASTING, INVERT ELEVATIONS AND LENGTHS OF PIPE. SLOPE PERCENTAGE REPRESENTS A CALCULATED FIGURE BETWEEN POINTS AS SHOWN.

CERTIFIED THIS DAY OF NOVEMBER 2004
KEELER-WEBB ASSOCIATES

ADAM L. DEHART
REGISTERED
No. 29500025
STATE OF INDIANA
LAND SURVEYOR

A.L. DEHART, L.S.
STATE OF INDIANA
REGISTRATION No. 29500025

KEELER-WEBB ASSOCIATES
Consulting Engineers-Planners-Surveyors

RICHARD CARRIGER
BUILDER & DEVELOPER
3510 E. 86th St., Suite 26
Indianapolis, IN 46240
317-848-9221 Fax 317-848-9880

TRESDALE
PART OF S 1/2 SW 1/4 NW 1/4
SECTION 9 TOWNSHIP 7 NORTH, RANGE 3 EAST
TOWNE ROAD
CARMEL, INDIANA

DATE	ISSUE FOR
12/16/99	TAC REVIEW
2/09/00	REVISIONS
4/17/00	SURVEYOR REVISIONS
5/16/00	SURVEYOR REVISIONS
5/23/00	ALTERNATE No. 2
8/06/00	SURVEYOR REVISIONS

DRAWN BY: ALD
CHECKED BY: ALD
PROJECT No. 9905-008
SHEET No. 16

FILED
NOV 01 2002
OFFICE OF HAMILTON COUNTY SURVEYOR